# HGTC GEORGETOWN - COURTYARD

RENOVATION

State Project Number: H59-N055-CB Liollio Project Number: 19701

4003 S Fraser St Georgetown, SC 29440



147 Wappoo Creek Drive Suite 400 Charleston, SC 29412

T: 843.762.2222

## CONSTRUCTION DOCUMENTS



## HGTC

OWNER 2050 Highway 501 East Conway, SC 29526 Dianna Cecala dianna.cecala@hgtc.edu 843.349.5207



## Liollio Architecture, Inc.

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## DRG, LLC

CIVIL 1101 Johnson Ave. Suite 300 A Myrtle Beach, SC 29577 John Poston, PE, PLS john@drgpllc.com Tel: 843.839.3350



### TruDesign Studio

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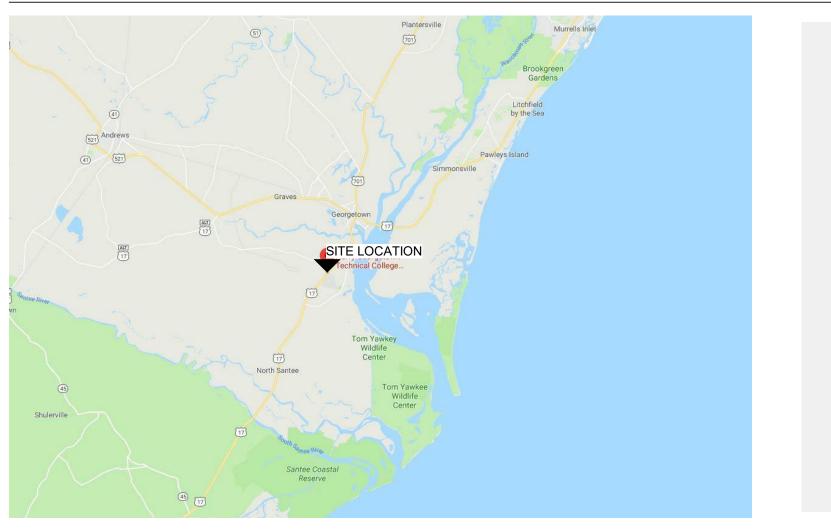
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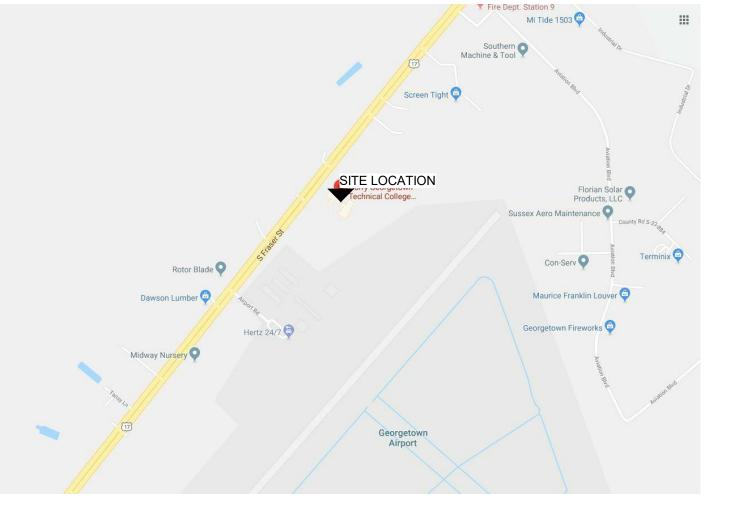


NTS

#### IMAGE FOR REFERENCE ONLY

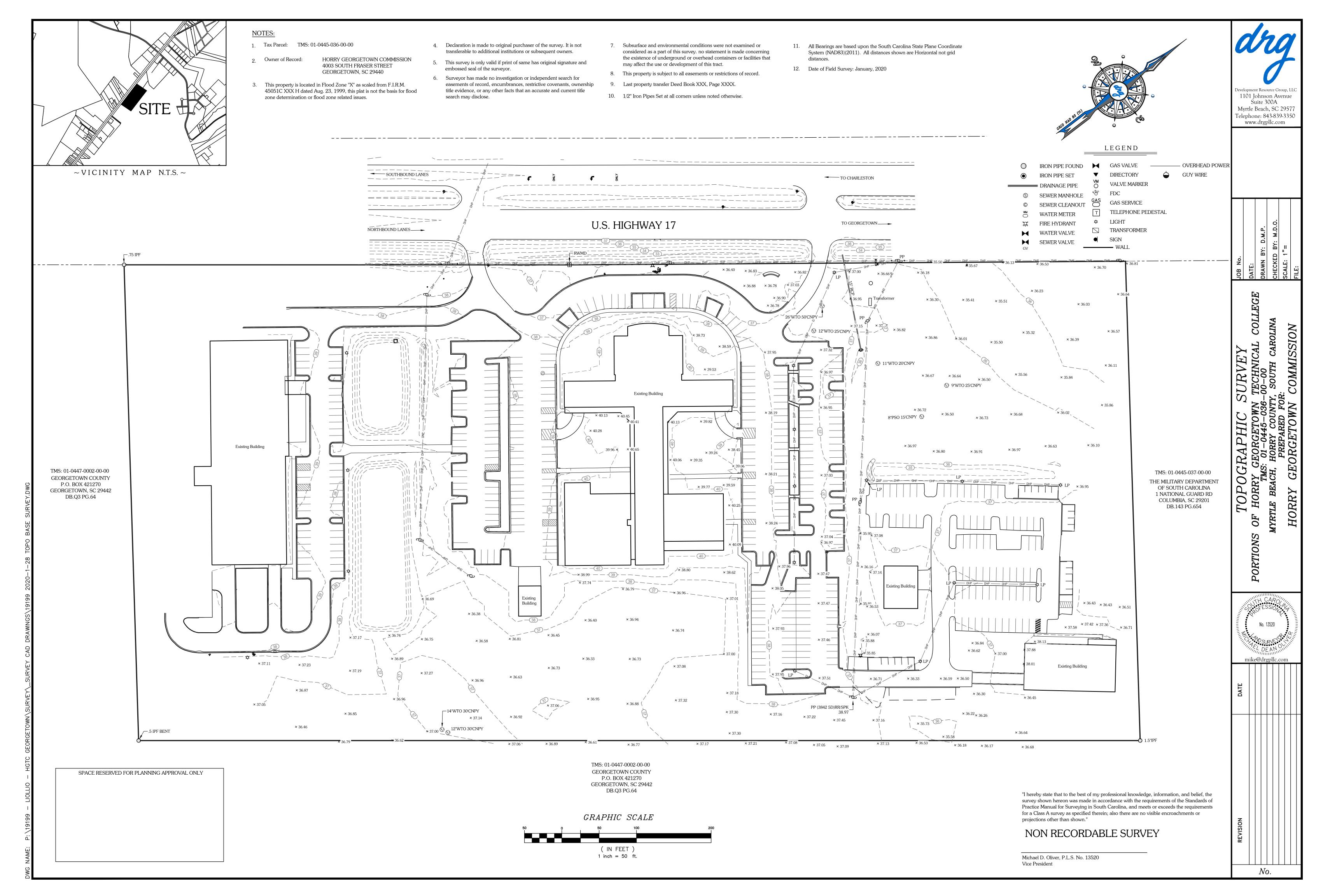
**REGION MAP** 





SITE MAP

NTS



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NOTE: Where a fire wall is necessary to separate buildings, each building is to be provided individual code criteria tables 3 through 14. See IBC 503.1.2.

CONSTRUCTION CLASSIFICATION	Type: Type II-B* (Existing) (IBC 602)		
OCCUPANCY CLASSIFICATION (indicate all) (Note IBC 504.2)	LASSIFICATION (indicate all)  B-Business (Existing) (IBC 302)		C 302)
MOST RESTRICTIVE OCCUPANCY CLASSIFICATION	B-Business (Existi	ng) (IBC Tables 50	4.3, 504.4 & 506.2)
Does building require Incidental Use Area Separation?	Yes No	(IBC 509.1)	Existing**
Does building have Accessory Occupancy (ies)?  If so, what percent of story is Accessory Occupancy?	Yes 🗌 No 🗌	(IBC 508.2)	Existing** SF Existing** %
Mixed Occupancy	Yes 🗌 No 🗌	(IBC 508)	Existing**
Non separated	Yes 🗌 No 🗌	(IBC 508.3)	Existing**
Separated	Yes No	(IBC 506.2.2) (IBC 506.2.4) (IBC 508.4)	Existing**
2-way Communication Required	Yes 🗌 No 🗌	(IBC 1009.8) (IBC 1009.6.5)	Existing***
Fire Apparatus Access and Water Line	Yes 🗌 No 🗌	(IFC 503 & 507)	Existing***

OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES

If the building has any special or notable fire protection or safety feature or hazard the designers should list them here, describe the performance characteristics and refer to locations in construction documents. (e.g. fire extinguishers, smokeevacuation/control/compartments. Note IBC 414.1.3.)

\*Based on analysis of limited as-built drawings provided by the owner and non-destructive site observations, the existing building appears to be most consistent with IBC 2018 requirements for Type II-B construction including non-combustible walls (CMU with masonry veneer exterior and CMU/metal stud interior), and non-combustible floor (concrete slab on grade).

\*\*The occupancy type for the area of work is Group B. Separation (if any) between areas is not verified as part of this renovation, as the occupancy type is not altered under this scope of work.

2020 Edition

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AREA LIMIT BY TABLE 506.2 OF IBC	23,000 (area limitation	SF per story)
AREA INCREASES BY SECTION 506.2 AND 506.3 OF IBC EXPLANATION OF INCREASES:	N/A Exist* (maximum mod	SF lified area per story)
AREA AS ALLOWED IN IBC PER STORY  Story/Level: Story/Level: Story/Level: Story/Level: Story/Level: TOTAL ALLOWED AREA OF BUILDING (summary of all stories)		SF (area per story)
AREA AS DESIGNED PER STORY  Story/Level: Story/Level: Story/Level: Story/Level: Story/Level:	N/A Exist*  N/A Exist*	_ SF (area per story) _ SF (area per story)
TOTAL DESIGNED AREA OF BUILDING (summary of all stories)	N/A Exist*	SF

\*Scope of work does not include any revisions to the existing building area

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		A	В	С	D
STORY/ LEVEL	FUNCTION OF SPACE (1)	FLOOR AREA (2) (NSF or GSF)	MAX AREA ALLOWED PER OCCUPANT <sup>(3)</sup> (NSF or GSF)	OCCUPANTS ON FLOOR FOR THIS FUNCTION (4)	DESIG OCCUPA LOAD
	Business*	Existing	E <u>xisting</u>	<b>Existing</b>	
	Sec	W	<u> </u>	% <u></u> **	
1	7 <u>c</u>	(1)	<u> </u>	V	
	3 <u>r                                     </u>	49	87	WW	
	Subtotal Design Occupant Load	l for This Story			Existin
	Business*	Existing	Existing	Existing	
	<u> </u>	7	<u> </u>	( <u>)</u>	
2	25 <u>2</u>	12	10	NE	
8 Al		818	<u></u>	9 <u></u> ?	
	Subtotal Design Occupant Load	l for This Story			Existin
		(I	P=====	N <u>2</u>	
		898	<u> </u>	9 <u></u> 9	
N/A				· · · · · ·	
	Subtotal Design Occupant Load	l for This Story			3-
	(	p	<u></u>	\$	
N/A			1 <del></del>	( <del></del> )	
				3,	
	Subtotal Design Occupant Load for This Story				
	·	19		0 <del></del>	12
		<u> </u>		3	
N/A					
1 <del></del> 0			<u> </u>	<u> </u>	7-
	Subtotal Design Occupant Load	l for This Story			
TOTAL B	UILDING DESIGN OCCUPAN	 Γ LOAD			

Allowed Floor Areas in SF per Occupant per right column in Table 1004.5 of the IBC (3)

Divide Column A (2) by Column B (3) for each function and enter result, rounded up to the nearest whole person (4) Subtotal all Column C values for this floor to yield the Design Occupant Load (5)
Total Building Design Occupant Load –sum of all Column D value (6)

SEPARATIONS		
Fireblocking Required	Yes 🗌 No 🔀	per IBC Section 718
Draftstopping Required	Yes 🗌 No 🗶	per IBC Section 718
Smoke Control System Required	Yes 🗌 No 🗶	per IBC Section 909
Smoke Barriers Required	Yes 🗌 No 🗶	per IBC Section 407 and 408
Smoke Partitions Required	Yes 🗌 No 🗶	per IBC Section 407
Fire Partition Required	Yes <b>X</b> No □	per IBC Section 708
Fire Barrier Required	Yes <b>X</b> No □	per IBC Section 707
ALARM & DETECTION		
Fire Alarm System Required	Yes 🗶 No 🗌	per IFC Section 907
Emergency/Voice Alarm Communications System Required	Yes 🗌 No 🔀	per IFC Section 907.5.2.2
Emergency Alarm System Required	Yes 🗌 No 🗶	per IFC Section 908
SUPPRESSION		
Standpipes Required	Yes 🗌 No 🔀	per IFC Section 905
Sprinklers Required	Yes 🗌 No 🔀	per IFC Section 903
Sprinklers Provided	Yes 🗌 No 🔀	
Portable extinguishers required	Yes <b>X</b> No □	per IFC 906
Other suppression systems required	Yes 🗌 No 🔀	per IFC 904
Smoke & heat vents required	Yes 🗌 No 🗶	per IFC 910
OTHER: (Indicate other provided fire and life	safety features not listed above	e, if any)
Emergency Responder Radio Coverage	Yes 🗌 No 🔀	per IFC Section 510

\*All walls are existing to remain. Table 7 is completed as reference only should any new walls be required during construction. Scope of work is limited to exterior renovation. There are no new walls as part of this scope of work. The scope of work is a Level 1 Alteration to an Existing Building. Refer IEBC Section 703.1 for reference to maintain the level of fire protection provided.

TABLE 8 FIRE RESISTANCE RATING OF BUILDING ELEMENTS RATING AS RATING AS DESIGNERS AGENCY & BUILDING ELEMENT REQUIRED WALL/PARTITION DESIGNED DESIGN NO. (in hours) (in hours) KEY CODE (UL, FM, etc) Primary Structural Frame <u>N/A\*\*</u> (per IBC Table 601) Bearing Walls Exterior \_N/A\*\* 74 (per IBC Table 601) Nonbearing Walls & Partitions Exterior <u>0\*</u> Interior <u>N/A</u>\*\* (per IBC Table 601 & 602) Note footnote "d" from Table 601. Floor Construction including supporting beams & joists (per IBC Table 601) Roof Construction including supporting beams & joists (per IBC Table 601) Fire Walls (per IBC Section 706) Fire Barriers <u>N/A\*</u>\* (per IBC Section 707) 74 - TA Shaft Enclosures <u>N/A\*</u>\* N/A (per IBC Section 713) Fire Partitions

<u>N/A\*\*</u>

N/A

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(per IBC Section 708)

(as required by Designer)

IBC Section 716)

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Opening & Protective Listing by

Category (fire shutters, doors, etc. per



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Revision Date Description

HORRY GEORGETOWN

HGTC GEORGETOWN - BLDG 100 EXTERIOR RENOVATIONS

4003 S Fraser St Georgetown, SC 29440

TECHNICAL COLLEGE

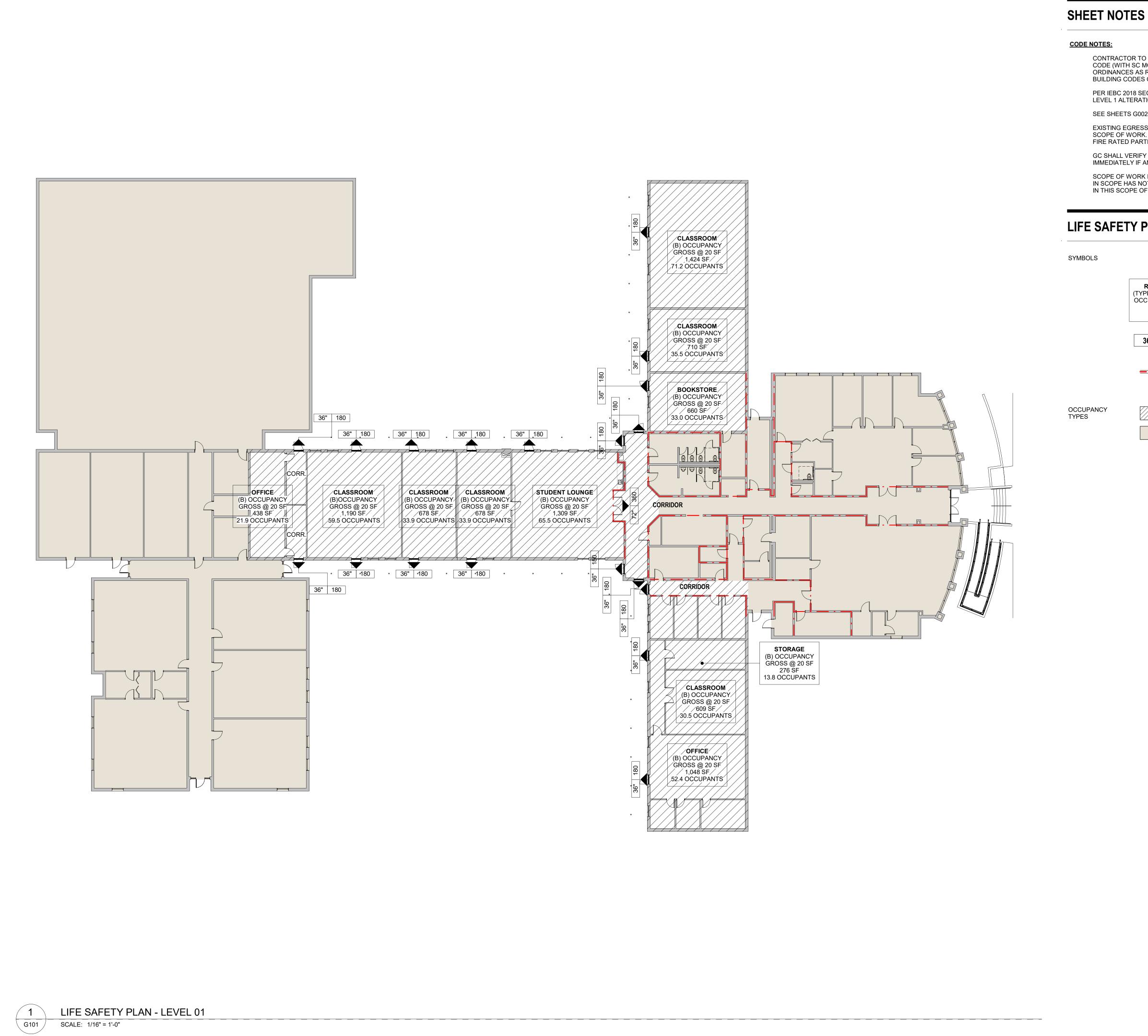
State Project Number:	H59-N055-CB
Project Number:	19701
Checked By:	EGB
Drawn By:	DFH
Date:	08/14/2020
Scale:	

G002 **CODE REVIEW** 

<sup>\*</sup>Existing building use, occupancy group and occupant load is unchanged by the cope of work.

<sup>\*</sup>Assuming interpretation of existing construction is not compatible with IBC 2018, Type II-B

<sup>\*\*</sup>Existing conditions, not included as part of scope of work.



CONTRACTOR TO COMPLY WITH 2018 INTERNATIONAL EXISTING BUILDING CODE (WITH SC MODIFICATIONS) AND ALL APPLICABLE CODES AND ORDINANCES AS REQUIRED BY THE COUNTY AND THE SC BUILDING CODES COUNCIL.

PER IEBC 2018 SECTION 602.1 THIS SCOPE OF WORK IS CATEGORIZED AS A LEVEL 1 ALTERATION.

SEE SHEETS G002-G003 FOR ADDITIONAL CODE INFORMATION

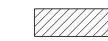
EXISTING EGRESS AND CIRCULATION ARE NOT REVISED AS PART OF THIS SCOPE OF WORK. CORRIDOR WALL RATINGS ARE ASSUMED TO BE 1 HOUR FIRE RATED PARTITIONS AS NOTED.

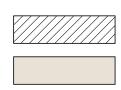
GC SHALL VERIFY EXISTING CONDITIONS AND NOTIFY DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.

SCOPE OF WORK IS LIMITED TO EXTERIOR OF EXISTING FACILITY. AREA NOT IN SCOPE HAS NOT BEEN VERIFIED. BUILDING OCCUPANCY IS NOT ALTERED IN THIS SCOPE OF WORK.

### LIFE SAFETY PLAN LEGEND

# OCC. **EGRESS** OCCUPANT LOAD **ROOM NAME** ROOM NAME, (TYPE) OCCUPANCY OCCUPANCY, LOAD OCC LOAD FACTOR FACTOR, SF, AND XX SF OCCUPANT LOAD # OCC DOOR LEAF SIZE, MAXIMUM 36" 180 OCCUPANT LOAD CAPACITY EXISTING WALL ASSUMED TO BE 1-HOUR RATED PARTITION





EDUCATIONAL (E)

NOT IN CONTRACT (N.I.C.)



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Revision Date Description 02/16/2021 OSE COMMENTS

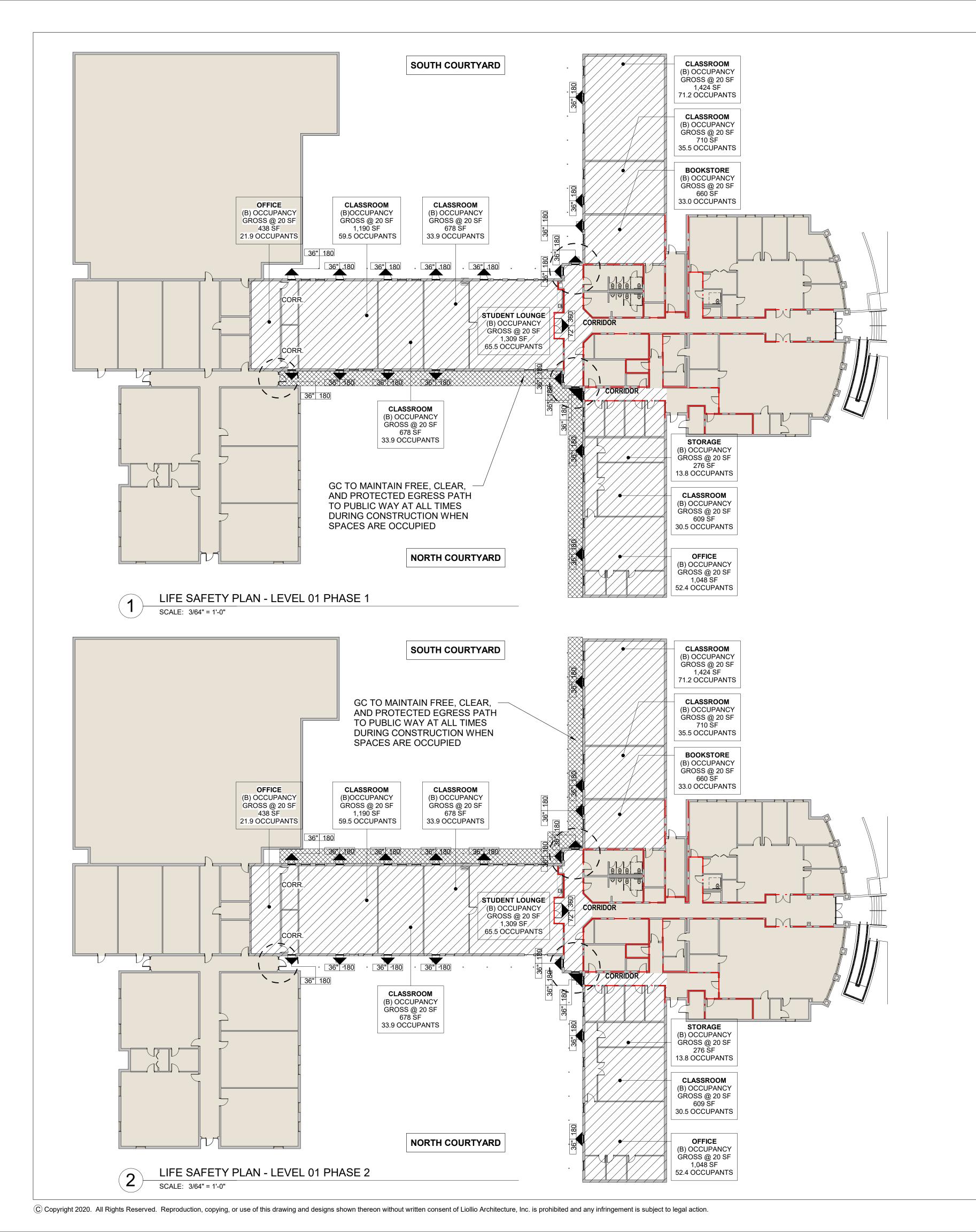
HORRY GEORGETOWN TECHNICAL COLLEGE

HGTC GEORGETOWN - COURTYARD RENOVATION

4003 S Fraser St Georgetown, SC 29440

G101 LIFE SAFETY PLAN

SCALE: As indicated



#### **GENERAL NOTES - LIFE SAFETY PHASING PLAN**

#### **GENERAL NOTES:**

**SUBMITTAL REQUIRED**: GC TO SUBMIT PHASING PLAN, FOR OWNER AND DESIGN TEAM REVIEW, PRIOR TO ANY DEMOLITION WORK.

GC TO MAINTAIN CLEAR EGRESS PATH AND COLLEGE OPERATIONS DURING CONSTRUCTION WHEN BUILDING AND CLASSROOMS ARE OCCUPIED. GC TO REFER TO REQUIREMENTS IN SPECIFICATION SECTION 01100 SUMMARY FOR REQUIREMENTS TO COORDINATE CONSTRUCTION WITH OCCUPANTS.

CLASSROOMS AND SPACES WITH MORE THAN 49 OCCUPANTS REQUIRE TWO EXITS. IF ONE EXIT IS BLOCKED OFF DURING CONSTRUCTION, GC TO INSTALL A TEMPORARY POSTED OCCUPANCY SIGN OF MAXIMUM 49 OCCUPANTS. CORRIDOR DOORS (CIRCLED IN DASHED LINES) FROM ADJACENT SPACES TO HAVE FREE EGRESS TO PUBLIC WAY THROUGHOUT CONSTRUCTION AT ALL TIMES.

#### PHASE 1

THIS PHASE INCLUDES NORTH PLAZA DEMOLITION AND CONSTRUCTION; NO WORK IN SOUTH COURTYARD. ALL DOORS IN SOUTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE. ALL DOORS IN NORTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE (AREA SHOWN IN CROSS HATCH ON ADJACENT PLAN); GC TO COORDINATE WORK IN CROSS HATCH AREA WITH OWNER TO COORDINATE SWING SPACE.

#### PHASE 2

THIS SCOPE INCLUDES SOUTH PLAZA DEMOLITION AND CONSTRUCTION; NO WORK IN NORTH COURTYARD. ALL DOORS IN NORTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE. ALL DOORS IN SOUTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE (AREA SHOWN IN CROSS HATCH ON ADJACENT PLAN); GC TO COORDINATE WORK IN CROSS HATCH AREA WITH OWNER TO COORDINATE SWING SPACE.



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A Revision Date Description

1 02/16/2021 OSE COMMENTS

HORRY GEORGETOWN TECHNICAL COLLEGE

HGTC GEORGETOWN - COURTYARD RENOVATION

4003 S Fraser St Georgetown, SC 29440

State Project Number:	H59-N056-CB
Project Number:	19701
Checked By:	EGB
Drawn By:	EGM
Date:	08/14/2020
Scale:	

G102 LIFE SAFETY PHASING PLANS

# HGTC STUDENT PLAZA

# **FOR**

# HORRY GEORGETOWN TECHNICAL COLLEGE

PROJECT SUMMARY

HORIZONTAL DATUM: NAD 83

VERTICAL DATUM: NAVD 88

BENCHMARK: SEE SHEET C103 (1/2" IRON ALONG R/W, PK IN PAVEMENT)

NPDES PERMIT: XX

PARCEL PIN #'(S): 01-0445-36-00-00 CURRENT ZONING: HC

TOTAL PROJECT AREA = 0.90 ACRES LAND DISTURBANCE AREA = 0.90 ACRES

PROPOSED USE: PEDESTRIAN OPEN SPACE

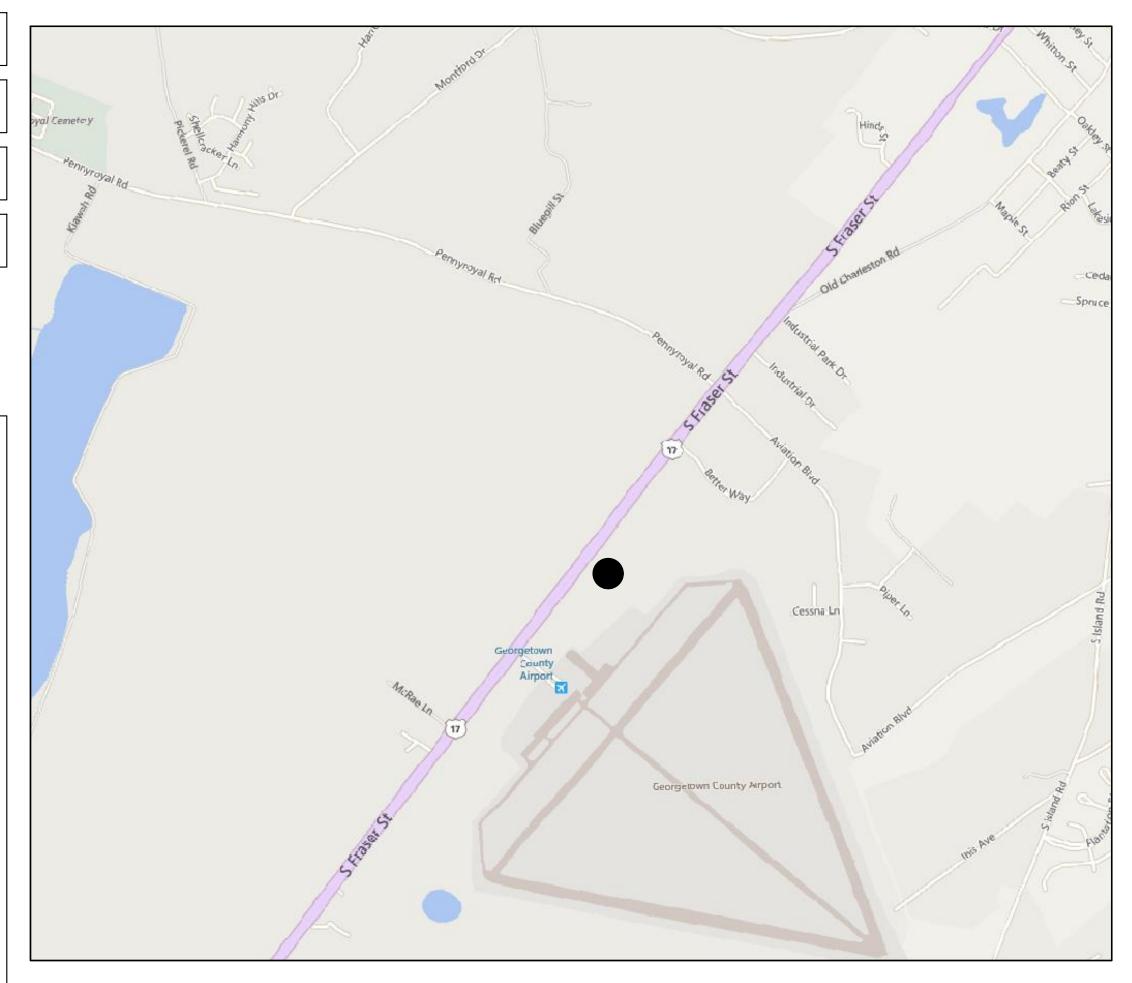
WETLAND AREA: NONE

THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" AS SCALED FROM F.I.R.M. No. 4500850379D, DATED MARCH 16, 1989, THIS PLAT IS NOT THE BASIS FOR FLOOD ZONE DETERMINATION OR FLOOD ZONE RELATED ISSUES.

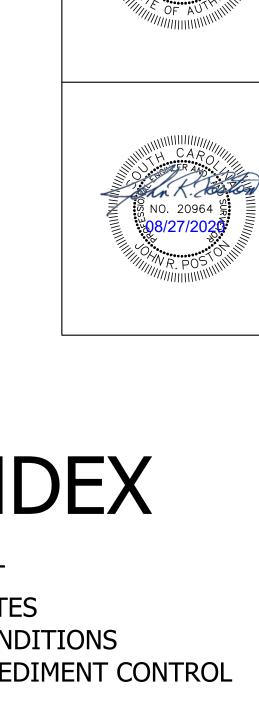
CONTRACTOR SHALL BE KNOWLEDGEABLE WITH LOCAL, CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AS THEY MAY PERTAIN TO THIS PROJECT AND SHALL ADHERE TO THESE REGULATIONS.

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER, AND LOCATION OF ANY UNDERGROUND UTILITY AND/OR STRUCTURE SHOWN ON THIS PLAN IS APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

SITE LOCATION 4003 FRASER STREET GEORGETOWN, SC 29440



LOCATION MAP / VICINITY MAP SCALE N.T.S.



# studi

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C108 DETAILS

∧ Revision Date Description

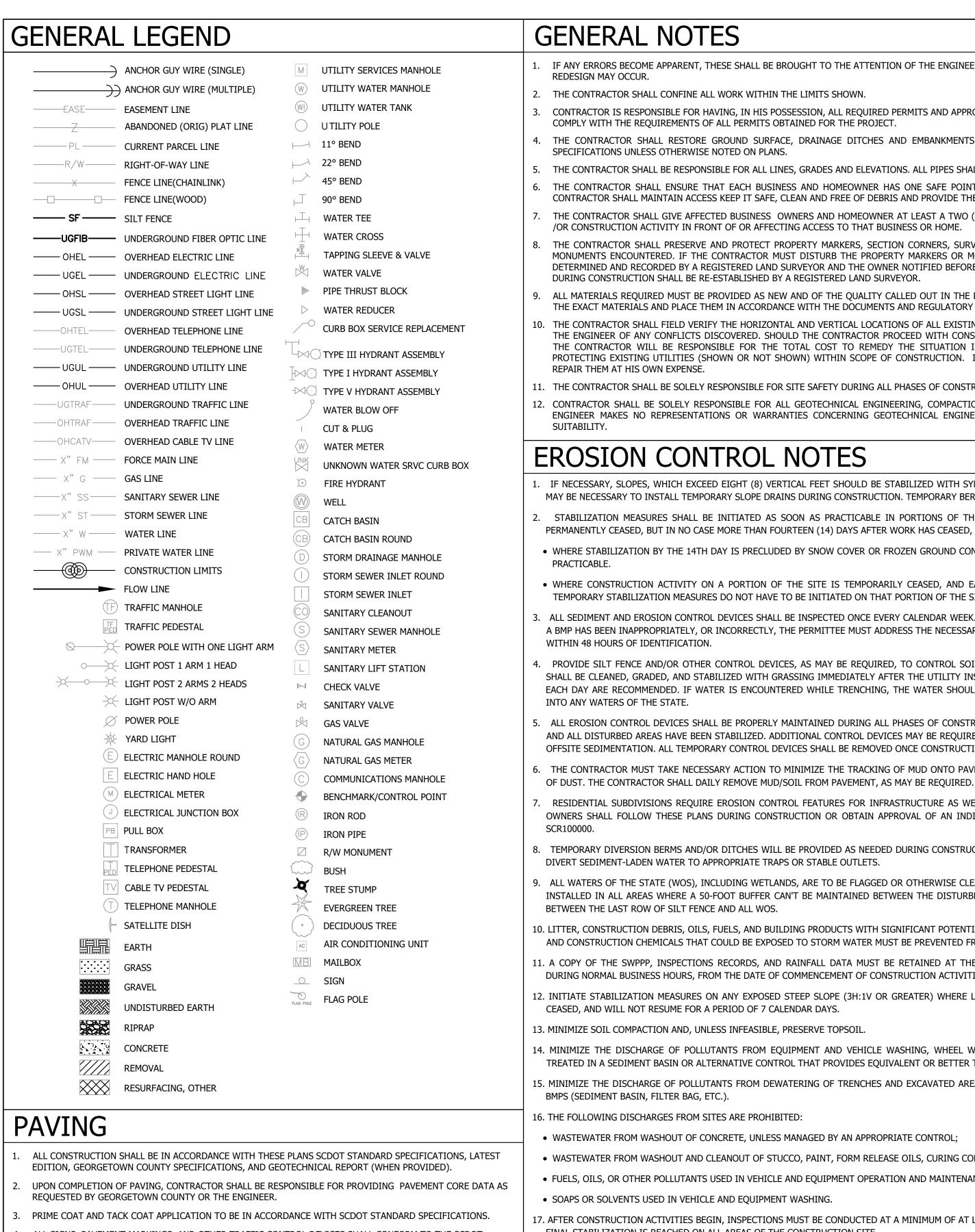
HORRY GEORGETOWN TECHNICAL COLLEGE

HGTC GEORGETOWN HGTC - GT COURTYARD RENOVATION 4003 S Fraser St Georgetown, SC 29440

Project Number:	H59-N055-CB	
Checked By:	JRP	
Drawn By:	SCH / PTH	
Date:	08/14/2020	
Scale:	N.T.S	

C101 CIVIL COVER SHEET





- 4. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE SCDOT
- STANDARDS/FOR ROADWAY CONSTRUCTION AND THE MUTCD FOR HIGHWAY CONSTRUCTION.
- 5. UNLESS OTHERWISE DIRECTED, PAVEMENT MARKINGS SHALL BE PAINT OR AS DIRECTED BY THE OWNER.
- 6. ALL STOP BARS AND ARROWS ARE TO BE THERMOPLASTIC.
- 8. SAW CUTS ON EXISTING PAVEMENT FOR PATCHING SHALL HAVE A TYPICAL MINIMUM WIDTH OF 24 INCHES UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

## **GENERAL NOTES**

- IF ANY ERRORS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR
- 2. THE CONTRACTOR SHALL CONFINE ALL WORK WITHIN THE LIMITS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR HAVING, IN HIS POSSESSION, ALL REQUIRED PERMITS AND APPROVALS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERMITS OBTAINED FOR THE PROJECT.
- 4. THE CONTRACTOR SHALL RESTORE GROUND SURFACE, DRAINAGE DITCHES AND EMBANKMENTS TO ORIGINAL GRADE AND VEGETATION ACCORDING TO PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLANS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, GRADES AND ELEVATIONS. ALL PIPES SHALL SLOPE UNIFORMLY BETWEEN INVERT ELEVATIONS SHOWN
- THE CONTRACTOR SHALL ENSURE THAT EACH BUSINESS AND HOMEOWNER HAS ONE SAFE POINT OF ACCESS FOR CUSTOMERS AND DELIVERIES AT ALL TIMES. THE
- THE CONTRACTOR SHALL GIVE AFFECTED BUSINESS OWNERS AND HOMEOWNER AT LEAST A TWO (2) WORKING DAY ADVANCED NOTICE OF REMOVAL, DEMOLITION AND
- THE CONTRACTOR SHALL PRESERVE AND PROTECT PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS AND BENCH MARKS, SUCH AS STONES, PIPES, OR OTHER MONUMENTS ENCOUNTERED. IF THE CONTRACTOR MUST DISTURB THE PROPERTY MARKERS OR MONUMENTS, THEIR HORIZONTAL AND VERTICAL LOCATION SHALL BE DETERMINED AND RECORDED BY A REGISTERED LAND SURVEYOR AND THE OWNER NOTIFIED BEFORE DISTURBING. ALL PROPERTY MARKERS AND MONUMENTS DISTURBED
- DURING CONSTRUCTION SHALL BE RE-ESTABLISHED BY A REGISTERED LAND SURVEYOR. ALL MATERIALS REQUIRED MUST BE PROVIDED AS NEW AND OF THE QUALITY CALLED OUT IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE EXACT MATERIALS AND PLACE THEM IN ACCORDANCE WITH THE DOCUMENTS AND REGULATORY AGENCY REQUIREMENTS
- 10. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. SHOULD THE CONTRACTOR PROCEED WITH CONSTRUCTION PRIOR TO DOING THIS AND ANY CONFLICTS OCCUR THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR THE TOTAL COST TO REMEDY THE SITUATION INCLUDING ENGINEERING FEES, CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPAIR THEM AT HIS OWN EXPENSE.
- 11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY DURING ALL PHASES OF CONSTRUCTION.
- 12. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL GEOTECHNICAL ENGINEERING, COMPACTION, SOILS AND COMPACTION TESTING, AND HOMESITE SUITABILITY ENGINEER MAKES NO REPRESENTATIONS OR WARRANTIES CONCERNING GEOTECHNICAL ENGINEERING, COMPACTION, SOILS, COMPACTION TESTING OR HOMESITE

## **EROSION CONTROL NOTES**

- 1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- 2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
- WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS,
- TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE 3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP
- WITHIN 48 HOURS OF IDENTIFICATION. 4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK
- INTO ANY WATERS OF THE STATE. 5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR
- OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. 6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 72-300 ET SEQ. AND SCR100000.
- 8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- 9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- 10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- 11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- 12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- 13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- 14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE;
- 15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- 16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- 17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- 18. IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- 19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

### SITE WORK

- EXISTING CONTOURS AND ELEVATIONS AS SHOWN ON THIS PLAN WERE TAKEN FROM A FIELD TOPOGRAPHIC SURVEY PREPARED BY DEVELOPMENT RESOURCE GROUP, LLC, CONTRACTOR SHALL CONTACT AND REFERENCE SAME BENCHMARK AS USED BY SURVEYOR.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND FLAG THE CLEARING LIMITS, TREES TO BE SAVED & OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- CLEARING LIMITS SHALL BE, AT A MINIMUM, THE CLEARING REQUIRED IN ORDER TO FACILITATE THE WORK, OR TO PROVIDE FOR ADDITIONAL UTILITIES OR EASEMENTS AND SHALL BE THE RESPONSIBILITY OF THE
- NO TREE SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR OWNER'S REPRESENTATIVE. EXISTING TREES TO BE SAVED, AS SHOWN ON THE DRAWINGS, SHALL BE PRESERVED.
- ALL BACKFILL AND FILL SOILS SHOULD BE NON-PLASTIC AND GRANULAR IN NATURE. SOILS SHOULD BE PLACED IN MAXIMUM EIGHT (8.0) INCH COMPACTED LIFTS. EACH LIFT SHALL BE COMPACTED TO AT LEAST NINETY-FIVE PERCENT (95%) OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF UNSUITABLE MATERIAL OFF SITE. ALL SUITABLE MATERIAL SHALL BE STOCKPILED AT OWNERS DIRECTION.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR AT HIS EXPENSE UNLESS INSTRUCTED OTHERWISE BY THE ENGINEER.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL GEOTECHNICAL ENGINEERING CONCERNING THE SITE, HOMESITE LOCATION, COMPACTION, SOILS AND COMPACTION TESTING AND HOMESITE SUITABILITY

## DRAINAGE

- ALL MATERIALS AND WORKMANSHIP ARE TO CONFORM TO THE REQUIREMENTS SET FORTH BY GEORGETOWN COUNTY, SCDOT AND SC DHEC.
- IF AN ITEM IS NOT COVERED BY THESE PLANS, THEN GEORGETOWN COUNTY AND SCDOT AND SC DHEC GENERAL SPECIFICATIONS COVERING SUCH ITEMS SHALL APPLY.
- ALL DRAINAGE PIPE SHALL BE RCP, CLASS III UNLESS OTHERWISE SPECIFIED
- FOR PIPE JOINTS, AND DRAINAGE STRUCTURES, CONTRACTOR SHALL USE TYPE M OR S MORTAR.

## WATER AND SEWER

- ALL MATERIALS AND WORKMANSHIP ARE TO CONFORM TO THE REQUIREMENTS SET FORTH BY GEORGETOWN COUNTY AND SC DHEC.
- IF AN ITEM IS NOT COVERED BY THESE PLANS, THEN GEORGETOWN COUNTY AND SC DHEC GENERAL SPECIFICATIONS COVERING SUCH ITEMS SHALL APPLY.
- WATER MAINS SHALL BE MINIMUM, C-900, DR18 PVC PIPE, BLUE IN COLOR.
- HYDRANTS SHALL BE MUELLER SUPER CENTURION A423 (4 1/2" MAIN VALVE).
- . SEWER PIPE SHALL BE MINIMUM, SDR 35 PVC PIPE, GREEN IN COLOR
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER INFRASTRUCTURE IN STATE PLANE COORDINATES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE RECORD PLANS TO GEORGETOWN COUNTY.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES. ALL PUBLIC PIPE, STRUCTURES, AND FITTINGS SHALL BE INSPECTED BY GEORGETOWN COUNTY INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING DISINFECTION AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL TESTING AND INSPECTION FEES.
- WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED FINISHED GRADE.
- 9. ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO BUILDING CONSTRUCTION.
- 10. IN NO SUCH CASE SHALL SEWER SLOPES BE LESS THAN INDICATED ON THESE PLANS.









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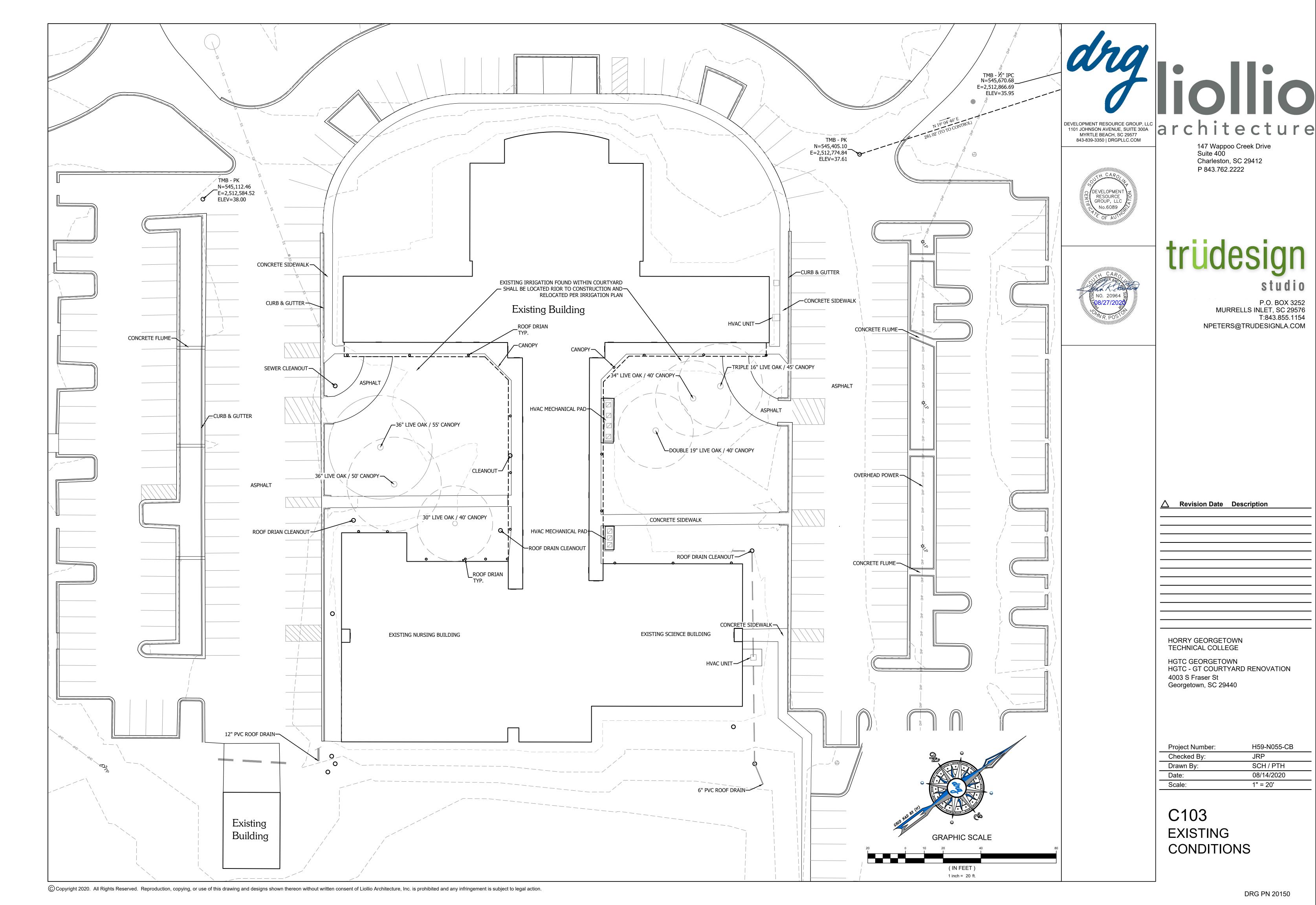
HORRY GEORGETOWN

TECHNICAL COLLEGE

HGTC GEORGETOWN HGTC - GT COURTYARD RENOVATION 4003 S Fraser St Georgetown, SC 29440

Project Number:	H59-N055-CB
Checked By:	JRP
Drawn By:	SCH / PTH
Date:	08/14/2020
Scale:	N.T.S

C102 **GENERAL NOTES** 



H59-N055-CB

SCH / PTH

08/14/2020

1" = 20'

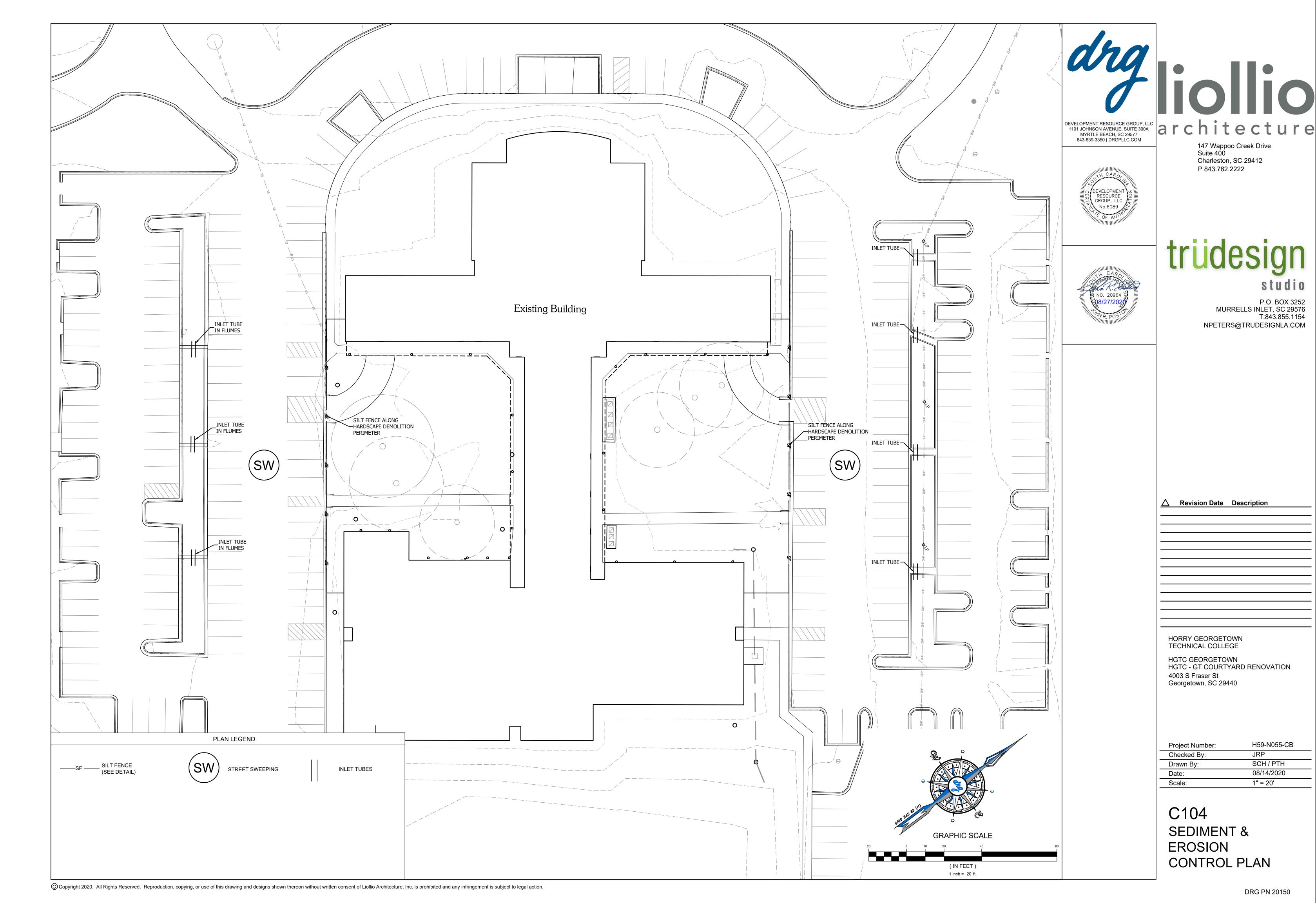
JRP

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DRG PN 20150

H59-N055-CB

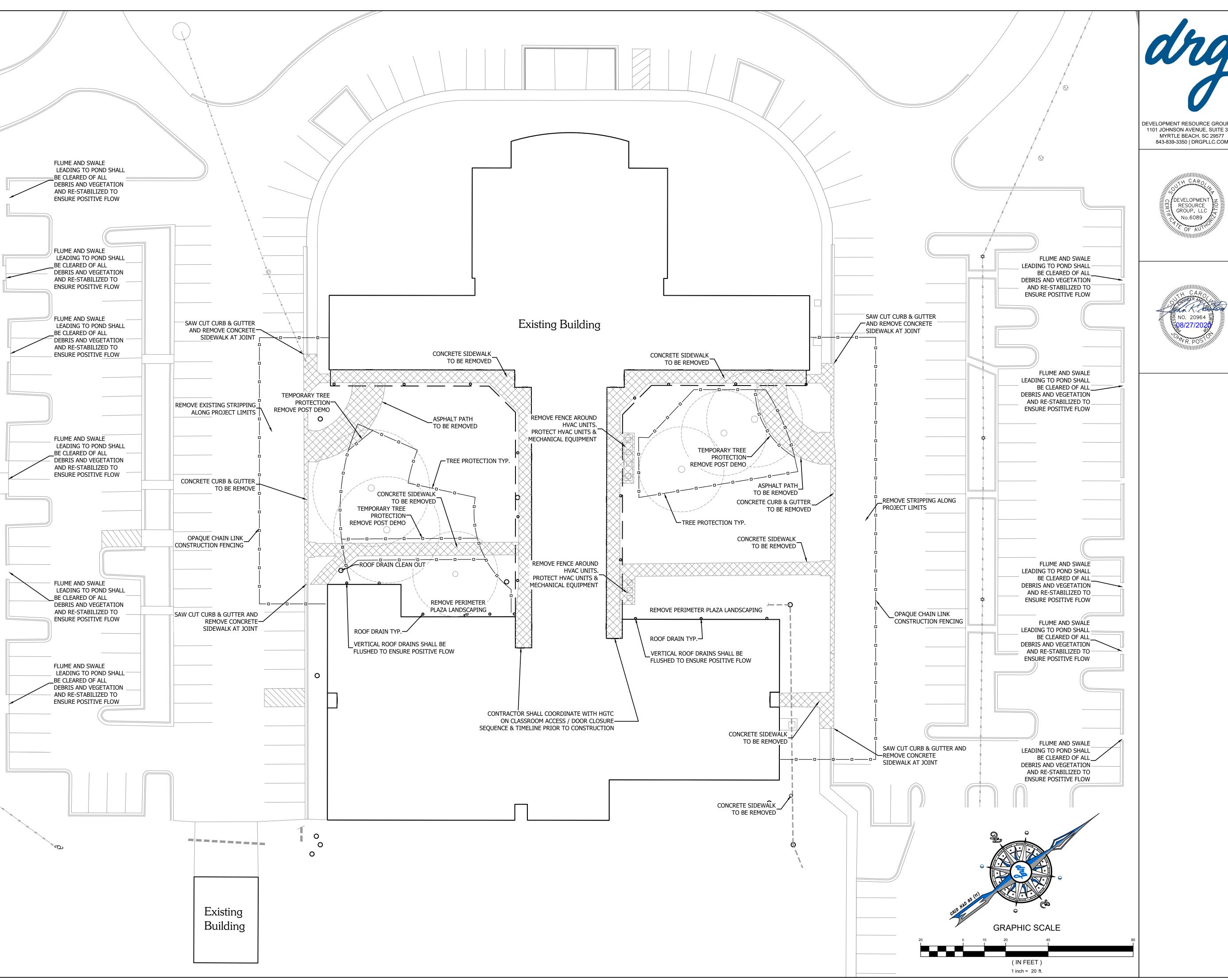
SCH / PTH

08/14/2020

1" = 20'

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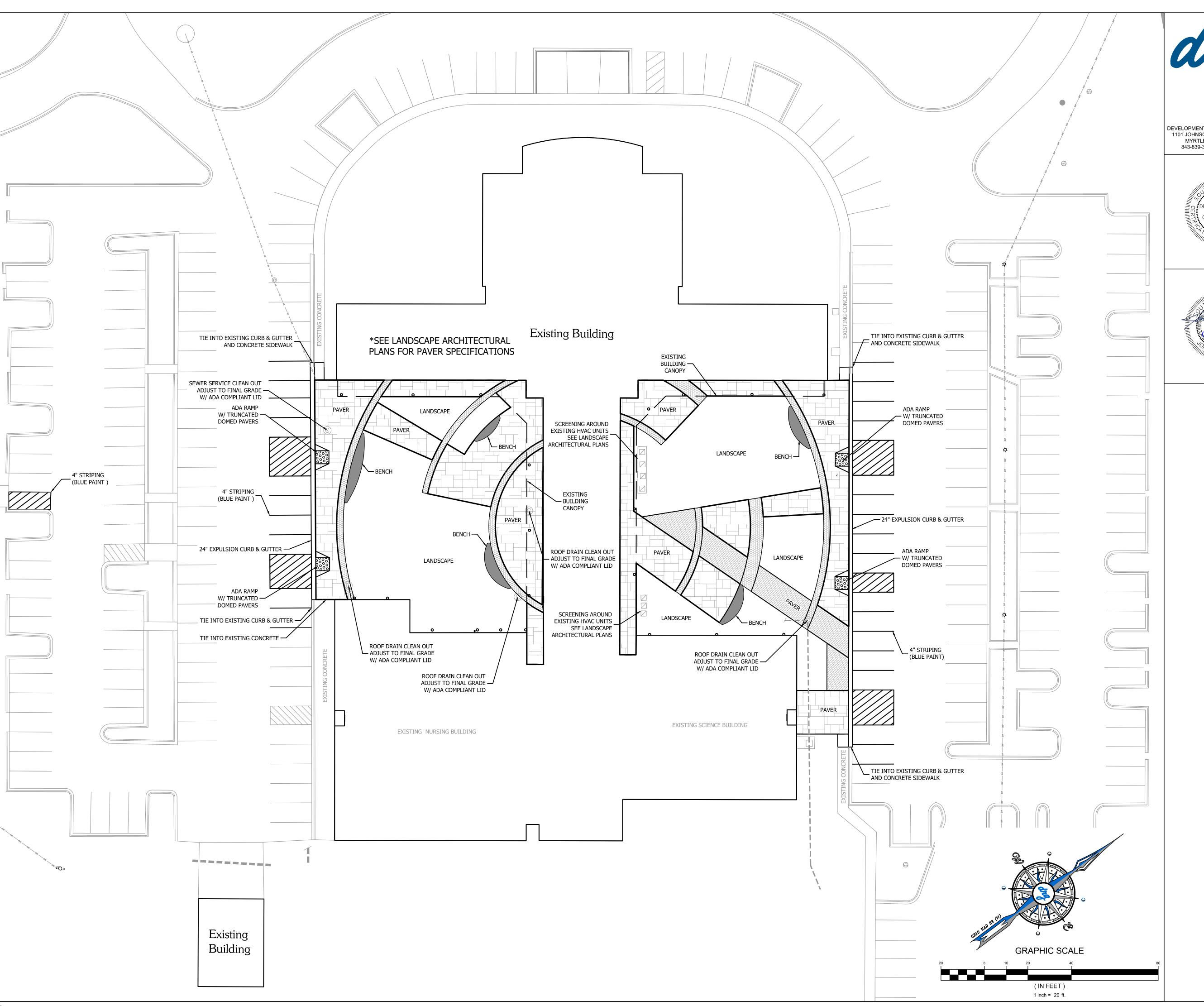
$\Delta$	Revision Date	Description

HORRY GEORGETOWN TECHNICAL COLLEGE

HGTC GEORGETOWN HGTC - GT COURTYARD RENOVATION 4003 S Fraser St Georgetown, SC 29440

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C105 **DEMOLITION** PLAN





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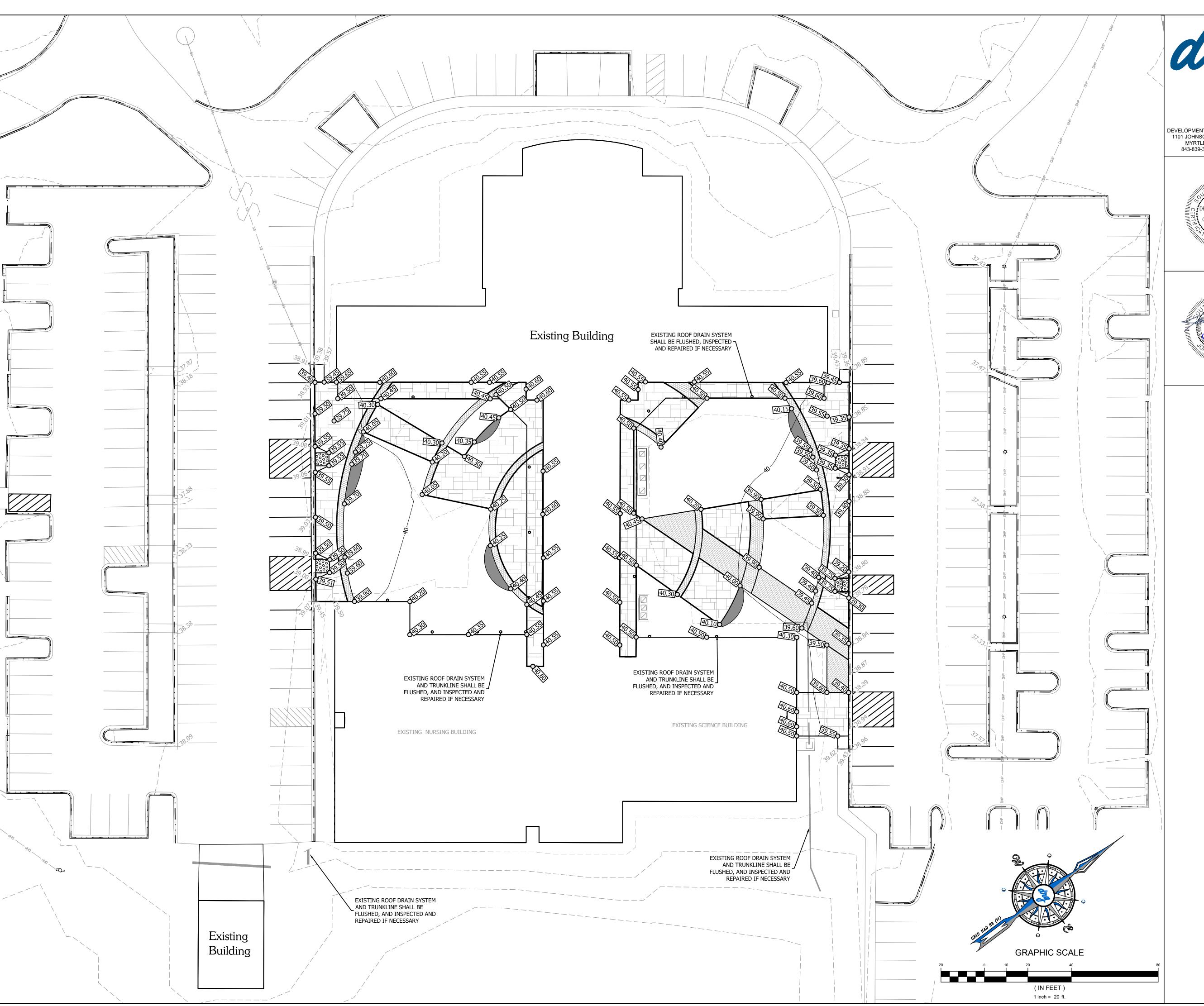
HORRY GEORGETOWN

TECHNICAL COLLEGE
HGTC GEORGETOWN

HGTC - GT COURTYARD RENOVATION 4003 S Fraser St Georgetown, SC 29440

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C106 SITE PLAN





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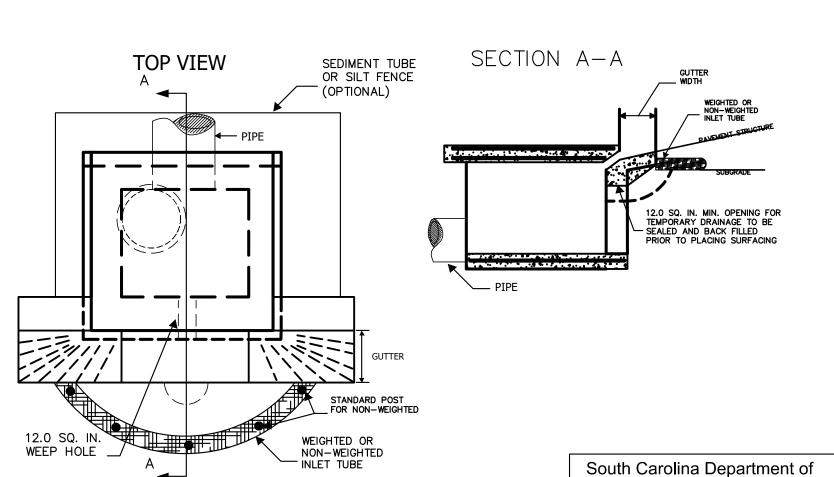
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TECHNICAL COLLEGE

HGTC GEORGETOWN
HGTC - GT COURTYARD RENOVATION

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C107 GRADING & DRAINAGE PLAN



#### TYPE F - INLET TUBES INLET PROTECTION

#### **GENERAL NOTES**

into inlet unobstructed

1. Inlets tubes should be composed of compacted geotextiles, curled excelsior wood, natural coconut fibers, a hardwood mulch, or a mix of these materials enclosed by a flexible netting

2. Inlets tubes should utilize an outer netting that consists of seamless, high—density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material. Curled wood excelsior fiber, or natural coconut fiber rolled erosion control products rolled up to create an inlet tube device are not allowed.

3. Do not use straw, straw fiber, straw bales, pine needles, or leaf mulch as fill material within inlet tubes.

4. Weighted inlet tubes must be capable of staying in place without external stabilization measures and may have a weighted inner core or other weighted mechanism to keep them

5. Install weighted tubes lying flat on the ground, with no gaps between the underlying surface and the inlet tube. Do not stack inlet tubes. Do not completely block inlet with tube.

6. Non-weighted inlet tubes require staking or other stabilization

- methods to keep them safely in place. 7. Overflow or overtopping of inlet tubes must be allowed to flow
- 8. To avoid possible flooding, two or three concrete cinder blocks may be placed between the tube and the inlet.

#### INSPECTION AND MAINTENANCE

manufacturer's specifications.

- 1. The key to functional inlet protection is weekly inspection, routine maintenance, and regular sediment removal.
- 2. Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24—hours after each rainfall event that produces 1/2—inch or
- Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continually monitored and removed when necessary. 4. Remove accumulated sediment when it reaches 1/3 the
- removed when it fills approximately 1/3 the depth of the hole. 5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed
- sediment after it is relocated. 6. Large debris, trash, and leaves should be removed from in

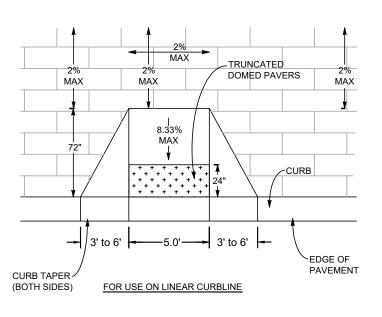
height of the blocks. If a sump is used, sediment should be

- front of tubes when found. Replace inlet tube when damaged or as recommended by
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them

properly. Grade the disturbed area to the elevation of the drop

inlet structure crest. S	tabilize all bare areas immediately.
	South Carolina Department of

GENER	AL NOTES	DATE
STANDARD DRAWING NO.	SC-11 PAG	E 2 of 2
	INLET TUBES	
	Type F	
nealth and	Environmeni	iai Contr



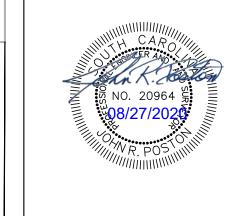
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ADA RAMPS	7
N.T.S.	
DEVELOPMENT RESOURCE GROUP, LLC	0



PAVEMENT

BASE COURSE





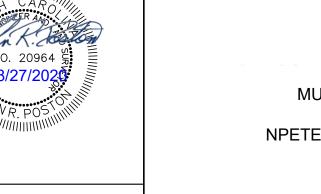
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Revision Date Description

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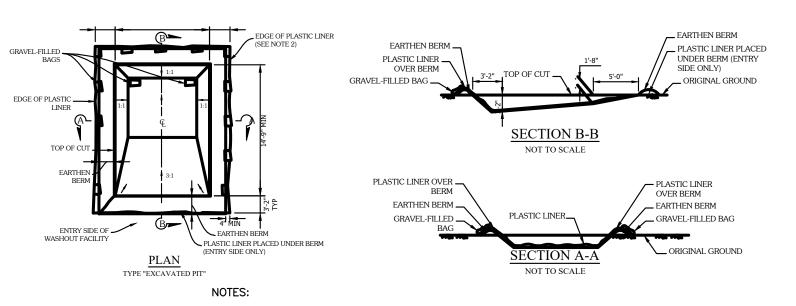
TECHNICAL COLLEGE

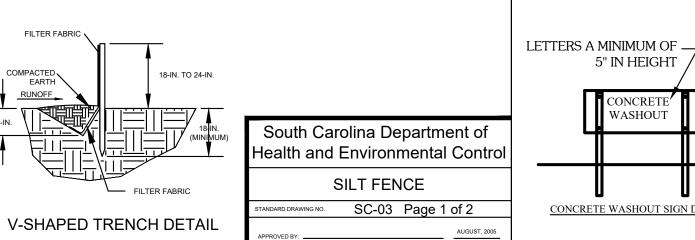
HGTC GEORGETOWN HGTC - GT COURTYARD RENOVATION 4003 S Fraser St Georgetown, SC 29440

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C108 **DETAIL SHEET-1** 

**EXCAVATED PIT CONCRETE WASHOUT** 



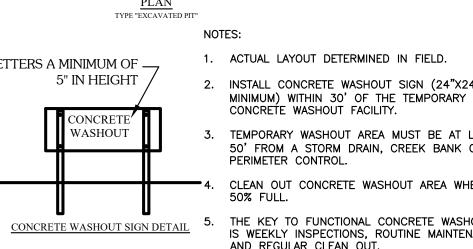


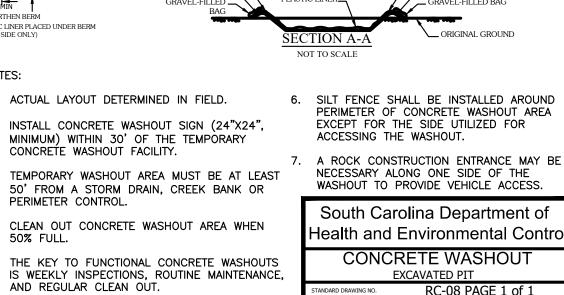
Health and Environmental Control Type F INLET TUBES

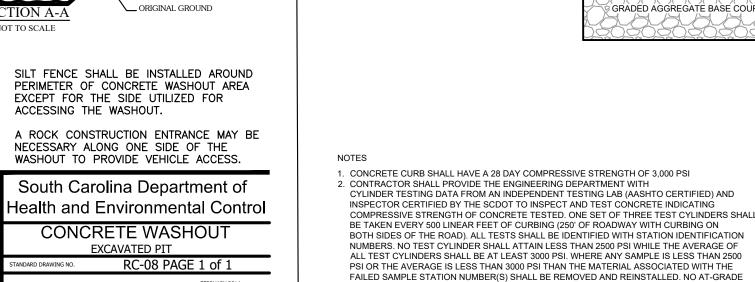
NOT TO SCALE

HEAVY DUTY PLASTIC TIE

SC-11 PAGE 1 of 2







1/2" EXPANSION JOINT —

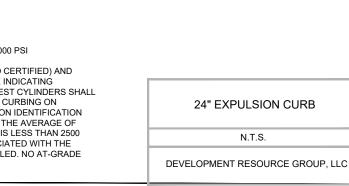
FILLED WITH SEALANT (BASF SONOLASTIC NP-2, GRAY)

OR APPROVED FOUAL

1/2" BELOW FINISHED GRADE

PAVER

UTILITIES SHALL BE INSTALLED IN THE CURBLINE





FLAT-BOTTOM TRENCH DETAIL

EARTH

RUNOFF



1. TRUNCATED DOMED PAVERS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS: (A) WHERE A MULTI USE PATH CROSSES A VEHICULAR WAY,

1.25 LB./LINEAR FT. STEEL POSTS

COMPACTED EARTH

8-IN. TO 24-IN.

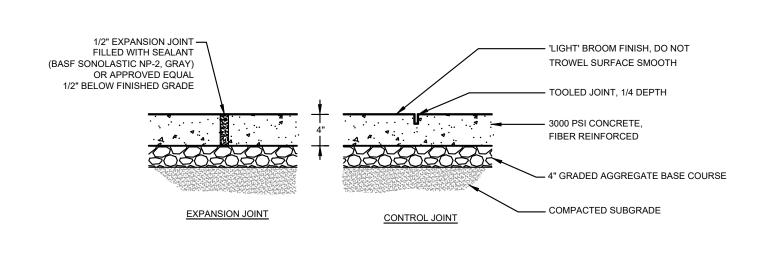
USE EITHER FLAT-BOTTOM -

OR V-BOTTOM TRENCH SHOWN BELOW

RUNOFF

SILT FENCE INSTALLATION

- EXCLUDING UN-SIGNALIZED DRIVEWAY CROSSINGS. 2. AT CURB RAMPS AND BLENDED TRANSITIONS, DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" MINIMUM AND 8" MAXIMUM DISTANCE FROM THE CURB LINE. THE SURFACE SHALL EXTEND A MINIMUM OF 24" ONTO
- THE RAMP IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH OF THE CURB RAMP. B. DETECTABLE WARNING SURFACES SHALL CONSIST OF AN AREA OF TRUNCATED DOMES ALIGNED IN A SQUARE GRID PATTERN. THE BASE OF THESE DOMES SHALL BE 0.90-1.40". THE TOP OF DOMES SHALL BE 50%-65% OF ACTUAL BASE DIAMETER, WITH A HEIGHT OF 0.2". THE DETECTABLE WARNING DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6-2.4".
- 4. FOR DOMES PAVER SURFACES, THE DEFAULT COLOR IS DARK GRAY, AS SELECTED FROM MANUFACTURER'S FULL RANGE.
- TRUNCATED DOMED PAVERS N.T.S. 5. DOME PAVER TO MEET ADA SECTION R304 & R305 DEVELOPMENT RESOURCE GROUP, LLC



10	<u>otes</u>
-	CONCRETE SHALL BE FIBER REINFORCED AND SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. MAXIMUM AGGREGATE SIZE SHALL BE 1/2" DIAMETER.
	CONTROL JOINTS SHALL BE PLACED AT 5' O.C. MAX. EXPANSION JOINTS SHALL BE PLACE AT 35' O.C. MAX.

CONCRETE SIDEWALK	dra
N.T.S.	
OPMENT RESOURCE GROUP, LLC	

NOT TO SCALE





#### SITE PLAN NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF ALL ELEMENTS DURING CONSTRUCTION.

2. CONTRACTOR TO VERIFY AND LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO SECURE A RESPONSIBLE UTILITY LOCATE SERVICE PRIOR TO ANY EXCAVATION OR INSTALLATION.

3. PROVIDE 6" REINFORCED CONCRETE PADS UNDER ALL EXTERIOR MECH AND ELEC EQUIPMENT. G.C. TO VERIFY ALL UNIT/PADS SIZES.

4. CONTRACTOR RESPONSIBLE FOR SECURITY FENCE AND SIGNAGE TO PREVENT INJURY TO THE PUBLIC DURING CONSTRUCTION.

5. CONTRACTOR IS TO SECURE SITE WITH CONTINUOUS FENCING AND ALL OTHER PROTECTIVE MEASURES TO MEET THE REQUIREMENTS ESTABLISHED BY MYRTLE BEACH AND IBC 2015 CHAPTER 33.

6. EXPANSION JOINTS TO BE INSTALLED EVERY 20' - 25' IN AREAS WHERE NEW CONCRETE IS PROPOSED.

7. CONTRACTOR SHALL WORK TO MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES.

8. PROVIDE AT LEAST ONE 4" PVC SLEEVE UNDER EVERY DRIVE OR SIDEWALK ON ENTIRE SITE. EXTEND ENDS 1'-6" MIN PAST EDGE OF CONCRETE. TAPE BOTH ENDS SECURELY AND GC IS TO LOCATE PRECISELY ON AS-BUILT DRAWING SET FOR FUTURE REFERENCE.

10. PATCH AND REPLACE ALL EXISTING ROADWAYS, WALKS, & CURBS TO MATCH EXISTING WHERE DISTURBED TO DUE CONSTRUCTION OR UTILITY INSTALLATIONS.

11. UNDERGROUND UTILITY CHASE/CONDUITS TO BE INSTALLED TO CONNECT ALL PHASES OF CONSTRUCTION. SEE ELEC AND CIVIL DWGS.

12. LANDSCAPE LIGHTING WITHIN PROPERTY TO BE ON SEPARATE CIRCUIT AND MAINTAINED BY OWNER. LANDSCAPE AND SITE LIGHTING ON PUBLIC PROPERTY TO BE ON SEPARATE CITY CIRCUIT AND MAINTAINED BY HGTC.

13. ALL DEMOLITION WORK DONE UNDER SEPARATE CONTRACT

14. THIS ARCHITECTURAL SITE PLAN/LANDSCAPE PLAN HAS BEEN REVIEWED AND APPROVED BY THE OWNER / RESPONSIBLE AGENT WHO UNDERSTANDS THAT ANY CHANGES, SUBSTITUTIONS, OR DELETIONS MAY REQUIRE REVIEW AND APPROVAL BY THE RESPONSIBLE REVIEWING AUTHORITY.

15. ALL LIGHTING WITHIN THE PROPERTY BOUNDARIES ARE THE RESPONSIBILITY OF THE OWNER. LIGHTING WITHIN THE PROPERTY BOUNDARIES ALSO TO BE ON A SEPARATE METER AND MAINTAINED BY THE OWNER.

16. ALL SIDEWALKS WITHIN PUBLIC RIGHTS OF WAY TO BE A MINIMUM 6" THICKNESS

17. CONTRACTOR TO PROVIDE PAVER MOCKUPS OF AS MANY AS 3-4 PATTERNS AND COLORS

FOR FINAL SELECTION PURPOSES

18. ALL PAVERS TO BE ADA COMPLIANT. CONTRACTOR TO VERIFY PAVER INSTALL IS ADA COMPLIANT. SEE CIVIL.

19. DROP-OFF AREA AND ALL PEDESTRIAN ROUTES, PEDESTRIAN GATHERING LOCATIONS, ETC. TO HAVE 2% MAX SLOPE AND 2% MAX CROSS SLOPE. SEE CIVIL.

20. WHERE PAVERS OCCUR ALONG AN ACCESSIBLE ROUTE, THE OPENINGS MUST NOT ALLOW THE PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSIONS IS PERPENDICULAR TO THE DIRECTION OF TRAVEL, 2010 ADA 302.3 (TYP).

21. GAPS OR OPENINGS IN GROUND SURFACES SHALL BE LESS THAN 1/2" WIDE, WITH A CHANGE IN LEVEL OF 1/4" MAXIMUM HEIGHT. A CHANGE IN HEIGHT GREATER THAN 1/4", UP TO 1/2" MAY BE BEVELED AT A 1:2 SLOPE, 2010 ADA 303, (TYP).

#### SITE PLAN LEGEND:

PAVER SYSTEM - TYPE 'A' - TECHO BLOC INCA -SEE SITE DETAILS AS102 - FRENCH PATTERN



PAVER SYSTEM - TYPE 'B' - TECHO BLOC LINEA SEE SITE DETAILS AS102 - RUNNING BOND



PAVER SYSTEM - TYPE 'C' - TECHO BLOC ANTIKA



LANDSCAPE BED



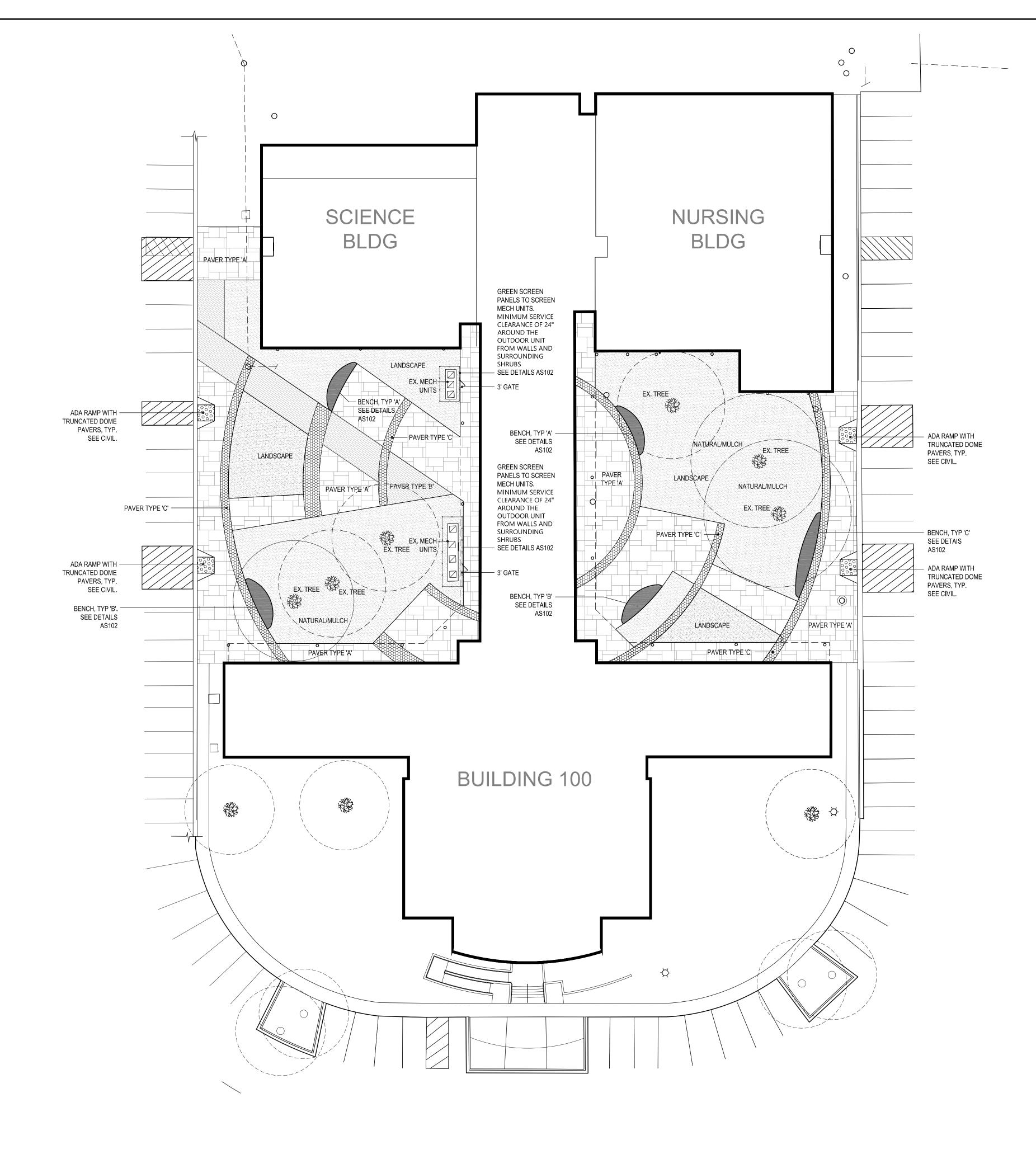
BENCH - SEE DETAIL AS102

SEE SITE DETAILS AS102

ALL PAVERS
TO BE ADA COMPLIANT. ALL PAVERS
TO HAVE MAX SLOPE OF 2% AND

MAX CROSS SLOPES OF 2%

CONTRACTOR TO PROVIDE PAVER 10'X10' MOCKUPS OF AS MANY AS 3-4 PATTERNS AND COLORS FOR FINAL SELECTION PURPOSES









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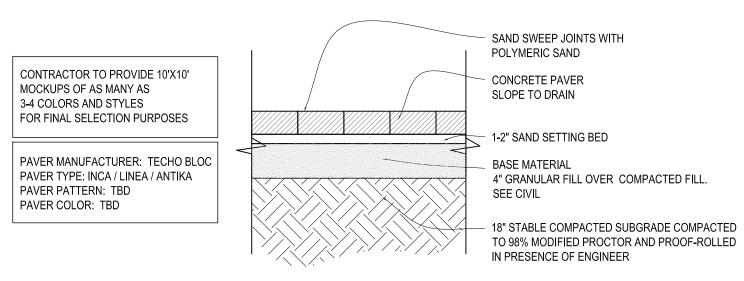
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HGTC GEORGETOWN

COURTYARD RENOVATION

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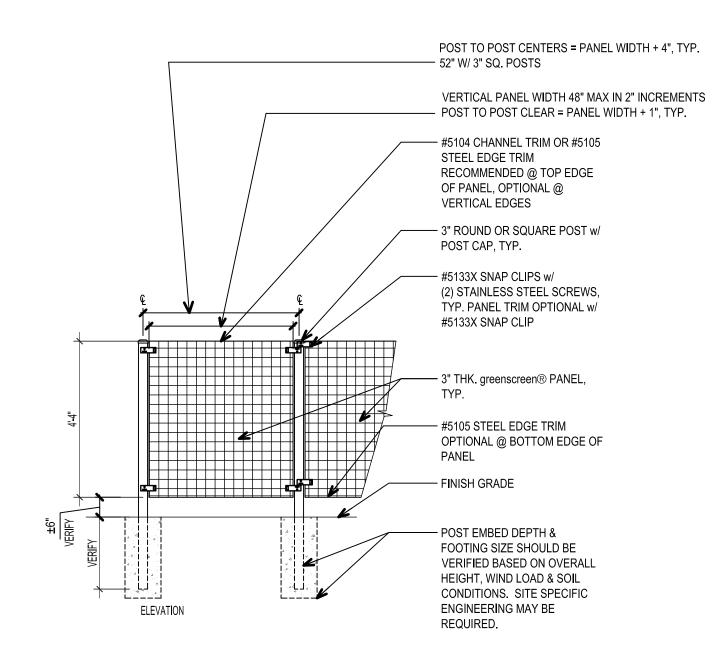
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Drawn By: NRP
Date: 08/14/2020
Scale: As indicated

AS101 SITE PLAN



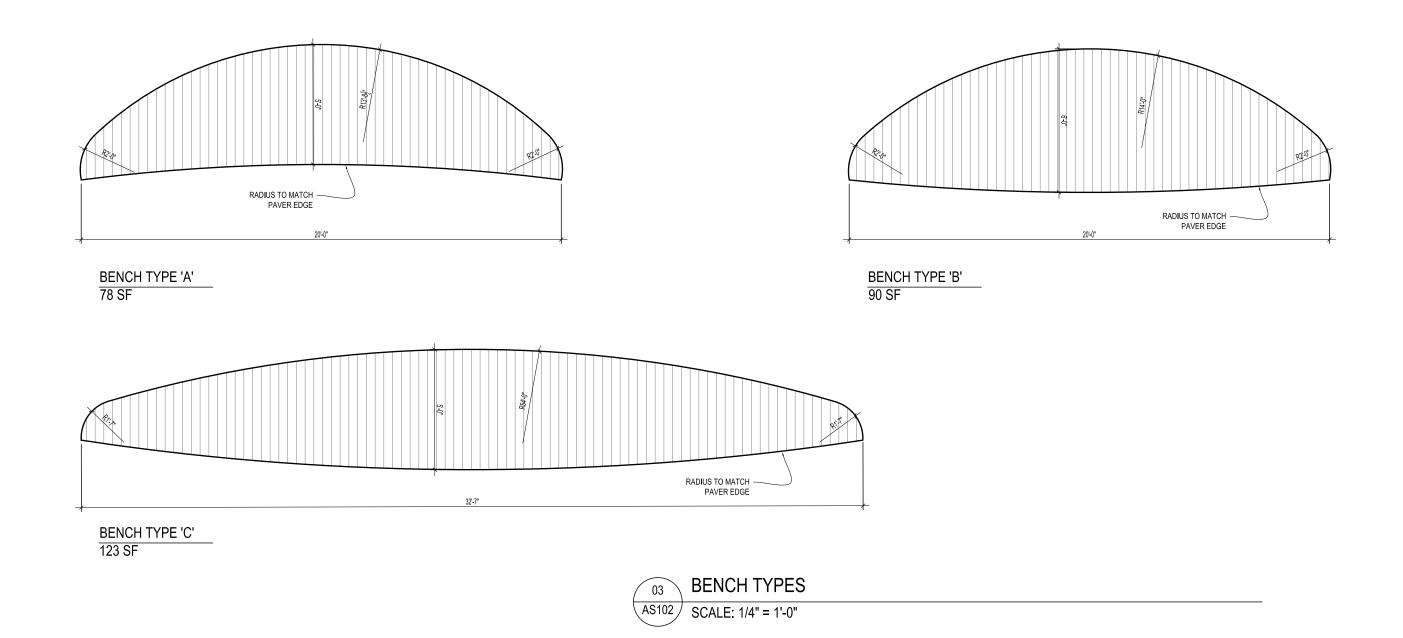
PAVER SYSTEM 'A/B/C'

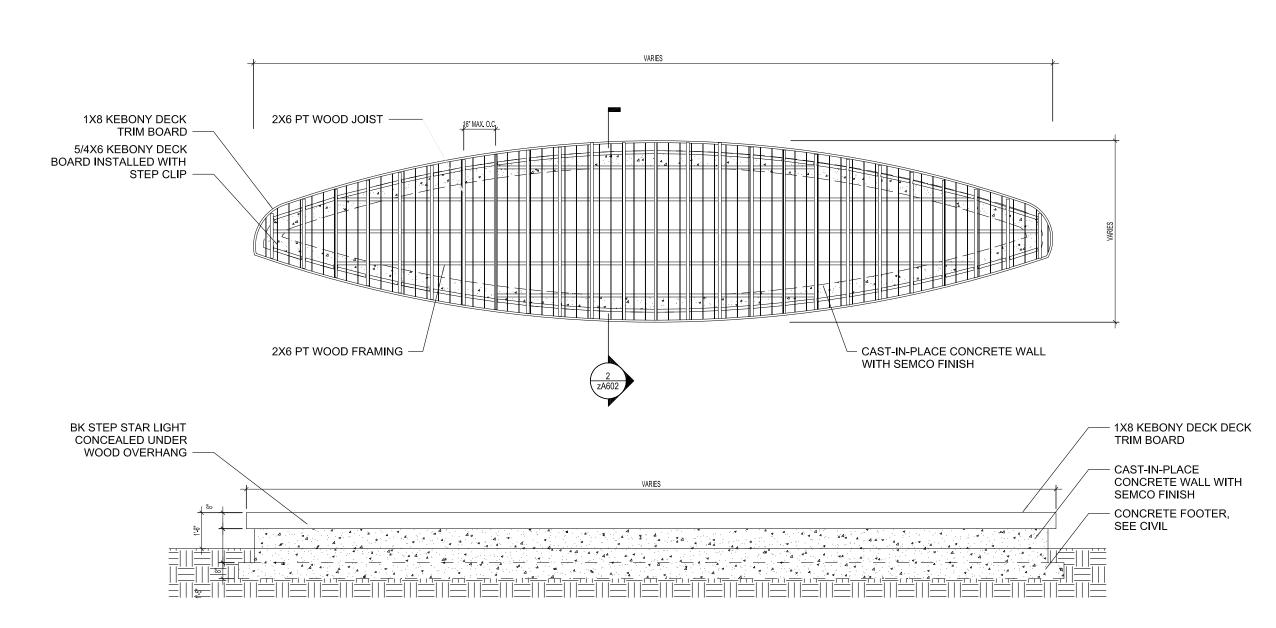
AS102 SCALE = NTS



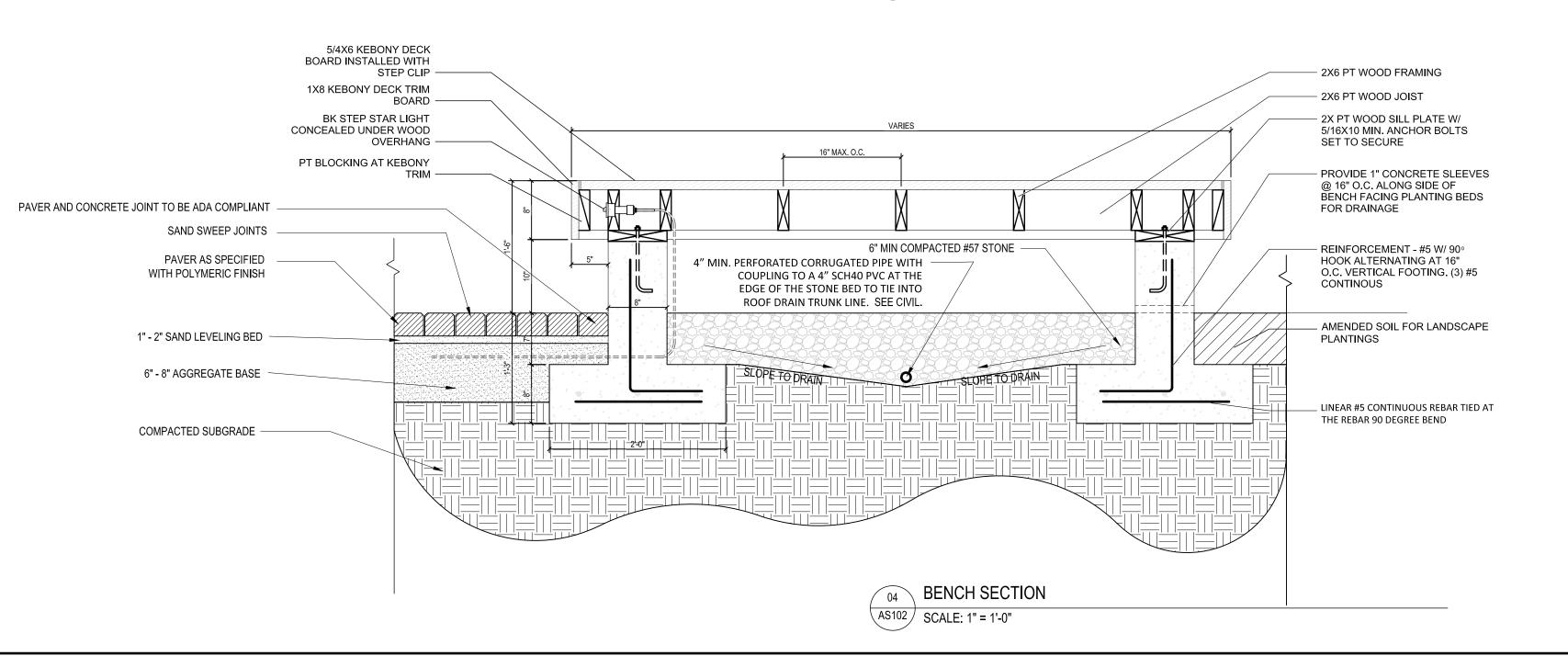
GREEN SCREEN DETAIL

AS102 SCALE:  $\frac{3}{8}$ " = 1'-0"





03 BENCH DETAIL
AS102 SCALE: 1/4" = 1'-0"



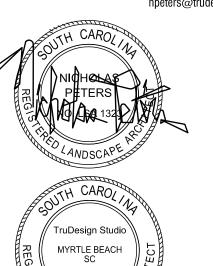


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A Revision Date Description

HORRY GEORGETOWN

TECHNICAL COLLEGE

HGTC GEORGETOWN
COURTYARD RENOVATION

4003 S Fraser St Georgetown, SC 29440

Project Number:	H59-NO55-CB
Checked By:	AAP
Drawn By:	NRP
Date:	08/14/2020
Scale:	As indicated

AS102 SITE DETAILS



LIGHTING PLAN NOTES:

1. ACTUAL PLACEMENT AND ADJUSTMENTS OF ALL LIGHT FIXTURES TO BE DETERMINED ON SITE.

2. INSTALL TRANSFORMERS AT LEAST 12" ABOVE GROUND.

3. PLAN DETAILS ARE INTENDED TO SHOW DESIRED RESULTS OF THE DESIGN. MINOR MODIFICATIONS OR ADJUSTMENTS MAY BE NECESSARY TO SUIT JOB REQUIREMENTS OR SITE CONDITIONS.

4. ALL MATERIAL AND LIGHTING EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFIC RECOMMENDATIONS OF THE MANUFACTURER UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH ALL LOCAL BUILDING CODES. THE CLIENT AND/OR SELECTED CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY LOCAL OR STATE BUILDING PERMITS.

5. ALL CABLE RUNS INSTALLED UNDER HARDSCAPE SUCH AS SIDEWALKS, PATIOS, CONCRETE, ETC., OR INSTALLED UNDER LAWN TURF AREAS SHALL BE INSTALLED USING SCHEDULE 40 PVC ELECTRICAL CONDUIT SLEEVES OR OTHER MATERIAL THAT HAS BEEN APPROVED BY LOCAL OR STATE BUILDING CODES.

6. USE ONLY APPROVED CABLE CONNECTIONS AND SPLICE ALL WIRES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.

7. INSTALLATION CONTRACTOR TO VERIFY ALL MATERIAL AND EQUIPMENT AVAILABILITY TO BE INSTALLED PRIOR TO INSTALLATION.

8. INSTALLATION CONTRACTOR TO SECURE THE SERVICES OF A LICENSED ELECTRICIAN TO INSTALL AN OUTDOOR GFI OUTLET AND MAIN ELECTRICAL SERVICE LINE FOR LOW VOLTAGE LIGHTING TRANSFORMER.

BK LIGHTING - DELTA STAR - ALUM LED - MARINE GRADE PRIMER	
BK LIGHTING - DELTA STAR - ALUM LED - MARINE GRADE PRIMER	
	6
HESS - CE-180-AR - 4' HT 7" DIA LED	7
MER TBD	2
BK STEP STAR™ SOLID STATE (BKSSL®) POWER OF 'E'	10
	MER TBD

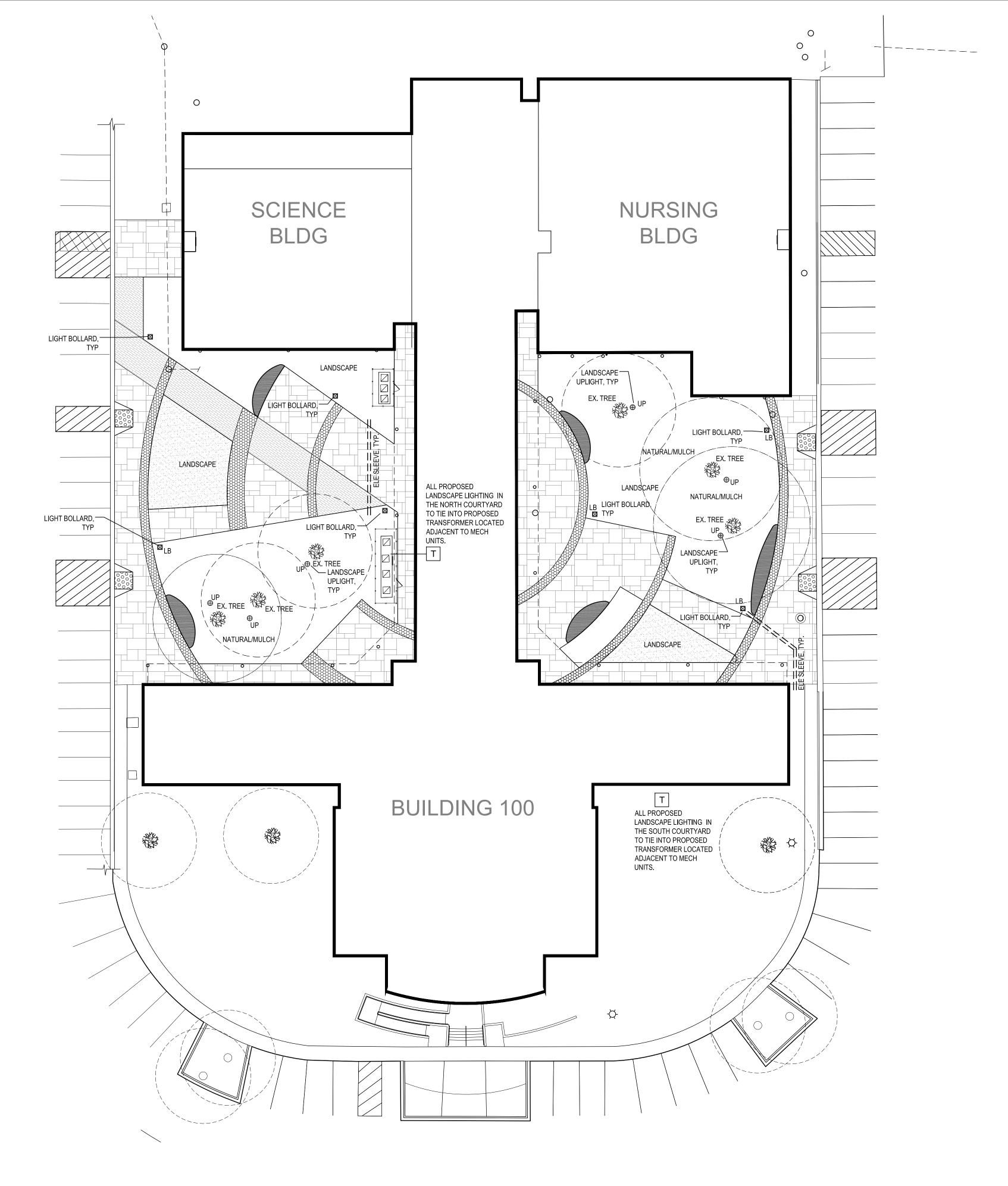
#### LANDSCAPE LIGHTING LEGEND

T LANDSCAPE LIGHT TRANSFORMER

LB LANDSCAPE LIGHT BOLLARD

UP LANDSCAPE UP LIGHT

| | | | SLEEVE



O1 LANDSCAPE LIGHTING PLAN

AS103 SCALE = 1" = 20'-0"





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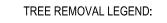
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AS103 LANDSCAPE LIGHTING PLAN





TREE PROTECTION FENCING. FENCING MUST BE EQUAL TO 1/2 FOOT (6")
FOR ONE INCH (1") OF THE RELATED TREE.

FOR EXAMPLE, IF A TREE TO BE PROTECTED HAS A 28" CALIPER, THE PROTECTIVE FENCING MUST HAVE A RADIUS OF 14'-0" OR A 28'-0" DIAMETER.



EXISTING SHRUBS TO BE REMOVED AND AREA PREPPED FOR PROPOSED LANDSCAPE INSTALL

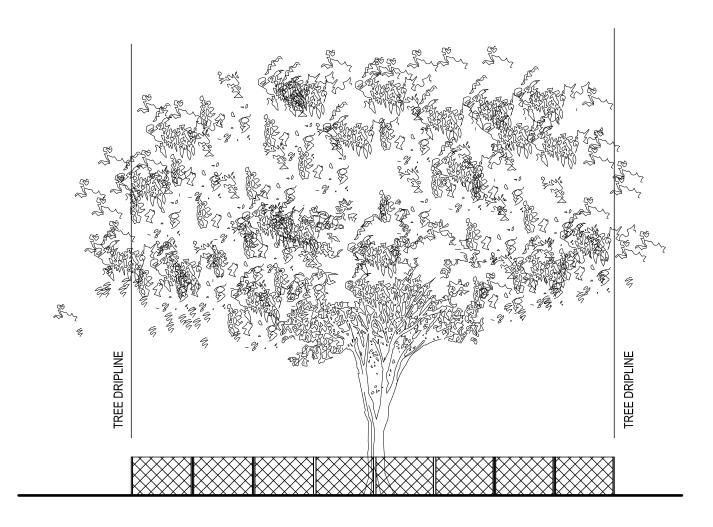
GENERAL NOTES - CONSTRUCTION

CONTRACTOR SHALL NOTIFY TRUDESIGN STUDIO PRIOR TO START OF ANY CONSTRUCTION AND PARTICIPATE IN ANY PRE-CONSTRUCTION CONFERENCES AS MAY BE REQUIRED.

ANY INFORMATION SHOWN ON THESE DRAWINGS PERTAINING TO THE EXISTENCE, LOCATION OR ELEVATION OF EXISTING UTILITIES HAS BEEN TAKEN FROM INFORMATION SUPPLIED BY OTHERS. THE DESIGNER HAS PERFORMED NO EXCAVATIONS TO VERIFY THE ACCURACY OF THIS INFORMATION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE APPROPRIATE AGENCIES TO OBTAIN AN ACCURATE FIELD LOCATION OF ANY AND ALL UTILITIES THAT MAY BE IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR SHALL VERIFY, BY FIELD MEASUREMENT, THE LOCATION AND ELEVATION OF ANY UTILITIES THAT MAY AFFECT CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE INFORMATION AS SHOWN ON THE DRAWINGS AND THAT OBTAINED BY FIELD MEASUREMENTS, AND OF ANY POSSIBLE CONFLICTS OR INTERFERENCES WITH THE PROPOSED WORK. THE DESIGNER SHALL BE ALLOWED THE TIME NECESSARY TO MAKE DESIGN REVISIONS REQUIRED TO MINIMIZE OR ELIMINATE DISCOVERED CONFLICTS.

GENERAL NOTES - DEMOLITION

 CONTRACTOR RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.
 COORDINATE ADDITIONAL DEMOLITION WORK, SUCH AS CURB CUTS AND UTILITY CUTS, WITH SURVEY DOCUMENTATION.
 TRUDESIGN STUDIO IS NOT RESPONSIBLE FOR ANY DAMAGES TO EXITING OR PROPOSED SIDEWALKS, UTILITIES, BUILDINGS, OR ANY THING ELSE THAT MAY BE DAMAGED DUE TO LANDSCAPE DEMOLITION OR PRUNING



01 TREE PROTECTION DETAIL N.T.S.

#### TREE PROTECTION NOTES:

#### PRE-CONSTRUCTION:

1. ALL TREES TO REMAIN. IF ANY DAMAGE TO EXISTING TREES OCCURS FROM RESULTS OF CONTRACTOR'S ACTIONS, CONTRACTOR WILL BE RESPONSIBLE FOR EQUIVALENT REPLACEMENT OF TREES.

2. BEFORE BEGINNING CONSTRUCTION OR CLEARING THE SITE, PLACE PROTECTIVE TREE FENCING (SEE TREE PROTECTION DETAIL) AROUND THE DRIP LINES OF THE TREES TO BE SAVED. DO NOT DISTURB THE SOIL INSIDE THE FENCE. NOTIFY THE CONTRACTOR AND HIS EMPLOYEES THAT THE FOLLOWING ACTIVITIES WILL NOT BE ALLOWED IN THE VICINITY OF THE PROTECTED TREES"

- NO PARKING OF CARS OR EQUIPMENT
- NO STORAGE OF MATERIALS - NO WASTE DISPOSAL OR CLEANING/WASHING OF EQUIPMENT OR TOOLS
- NO BURNING - NO SOIL DISTURBANCE, NATURAL GRADE SHOULD BE RETAINED
- DO NOT SCRAPE OFF UNDERBRUSH INSIDE THE FENCE WITH MOTORIZED EQUIPMENT,
- USE HAND TOOLS IF NECESSARY
   NO SPOILS FROM TRENCHES OR OTHER EXCAVATIONS SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR
- PERMANENTLY

  3. THE PROTECTIVE FENCING SHALL BE ORANGE VINYL, CHAIN LINK OR OTHER SIMILAR FENCING AT LEAST 6'-0" IN HEIGHT. THE FENCE SHALL BE

SUPPORTED AT A MAXIMUM OF 8'-0" INTERVALS BY METAL POSTS OR AN APPROVED METHOD SUFFICIENT TO KEEP FENCE UPRIGHT FOR THE DURATION OF THE PROJECT.

4. THE FENCING AROUND THE TREE OR SHRUB SHOULD BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR IS RESPONSIBLE FOR FENCING THAT IS DAMAGED DURING CONSTRUCTION.

5. APPLY 8'-0" DIAMETER MULCH RING @ 3-5" AROUND BASE OF TREES.

#### DURING CONSTRUCTION:

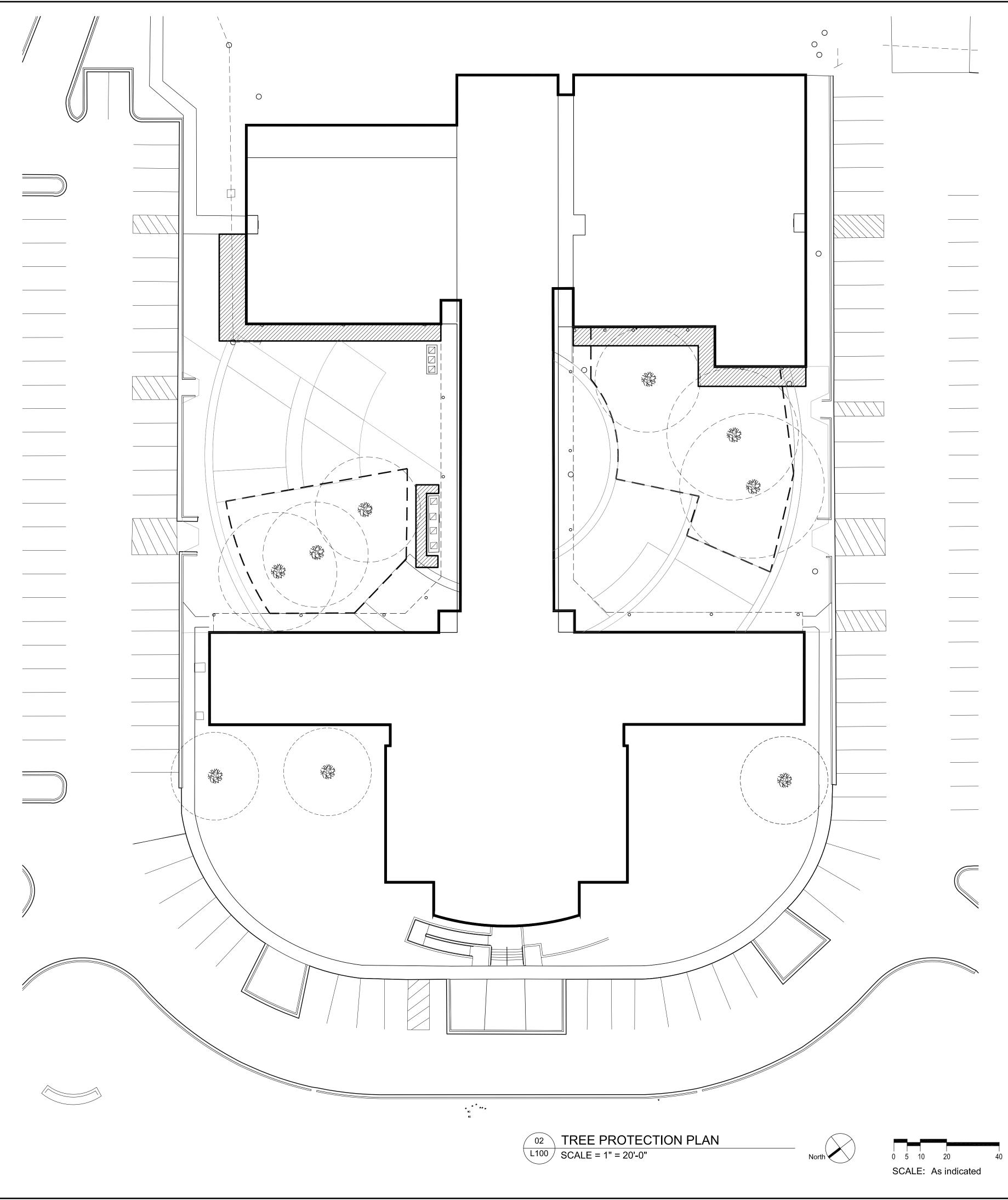
1. REMOVE AS FEW ROOTS AS POSSIBLE WHEN EXCAVATION SOIL. ONLY DIG TO THE MINIMUM DEPTH REQUIRED FOR WORK. AFTER EXCAVATING, USE A CHAINSAW TO CLEANLY CUT JAGGED OR TORN ENDS OF LARGE EXPOSED TREE ROOTS. COVER THE EXPOSED ROOT ENDS IMMEDIATELY WITH SOIL TO KEEP THEM FROM DRYING OUT.

#### POST CONSTRUCTION:

1. REMOVE PROTECTIVE FENCING AND DISPOSE OF PROPERLY.

2. VISUALLY INSPECT THE PLANTS FOR SIGNS OF BROKEN LIMBS OR OTHER DAMAGE. NOTIFY THE OWNER OF BROKEN LIMBS OR DAMAGE TO TREES

3. TREES TO BE REVISITED BY HGTC AND DETERMINE IF ANY ADDITIONAL TREE PRUNING NEEDS TO TAKE PLACE





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L100
LANDCAPE DEMO &
TREE PROTECTION
PLAN

#### GENERAL NOTES - LANDSCAPE

1. ALL SPECIFIED PLANT MATERIAL SHALL COMPLY THE THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1996). TRUDESIGN STUDIO RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIAL.

2. CONTRACTOR / OWNER SHALL NOTIFY TRUDESIGN STUDIO OF ANY CONCERNS WITH PLANT MATERIAL SPECIFIED. OTHERWISE CONTRACTOR / OWNER ASSUMES ALL RESPONSIBILITY IN INSTALLING PLANT MATERIAL INDICATED ON PLANT LIST.

3. LANDSCAPE CONTRACTOR / OWNER SHALL ESTIMATE QUANTITY OF ALL PLANT MATERIALS, SOD AND MULCH. PLANT QUANTITIES ARE ESTIMATES ONLY AND ARE SUBJECT TO FIELD VERIFICATION BY THE LANDSCAPE CONTRACTOR. THE PLANT LIST SHALL OVER RULE THE PLANT LABELS.

4. IF THERE ARE SPECIFIED SHRUBS THAT CANNOT BE LOCATED BY THE CONTRACTOR, THE CONTRACTOR HAS THE OPTION OF SUBSTITUTING ANY OF THOSE SHRUBS THAT CANNOT BE LOCATED, ONLY AFTER THE CONTRACTOR GETS PERMISSION OF SUBSTITUTION FROM TRUDESIGN STUDIO.

5. LANDSCAPE CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES, ABOVE AND BELOW GROUND, SUCH AS PALMETTO UTILITY PROTECTION SERVICE, PRIOR TO INSTALLATION / CONSTRUCTION

6. ANY EXISTING PLANT MATERIALS OR EXISTING STRUCTURES DAMAGED DURING INSTALLATION OR CONSTRUCTION ARE TO BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE..

7. ALL CLEARING, AESTHETIC EARTH MOUNDING AND FINAL PLANT LOCATIONS TO BE APPROVED BY TRUDESIGN STUDIO PRIOR TO

8. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A ROOT GROWTH BARRIER IN ALL LOCATIONS WHERE THE PLANT ROOTS MAY COME INTO CONTACT WITH ARCHITECTURAL ELEMENTS SUCH AS FOUNDATIONS, WALLS, SIDEWALKS, POOLS, ETC.

9. ALL PLANTING BEDS TO HAVE 3"-4" DEPTH OF MULCH.

10. TREES LOCATED IN SOD TO HAVE A MULCH RING AROUND THEM (MULCH RING MINIMUM OF 3'-0" IN DIAMETER)

11. ALL SOD LOCATED ON ANY SLOPE TO BE PINNED DOWN IN PLACE TO PREVENT SLIDING.

12. ALL PLANTED AREAS WILL BE PRE-EMERGED TO INHIBIT WEED GERMINATION. CONTRACTOR RESPONSIBLE FOR WEED GROWTH 30 DAYS AFTER INSTALLATION, OR UNTIL SUBSTANTIAL COMPLETION, WHICHEVER IS LATER.

13. HEIGHT OF ANY PLANT MATERIALS WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THOSE RESPONSIBLE AS REQUIRED. OWNER SHALL ALSO CONSIDER THE FUTURE MAINTENANCE REQUIREMENTS OF THIS PROJECT TO PREVENT INJURY TO THE PUBLIC.

14. APPLY 8-24-10 FERTILIZER @ 5 LBS. PER 1000 SQUARE FEET.

15. LANDSCAPE CONTRACTOR SHALL REMOVE TREE STAKES AND GUYING AFTER 1 YEAR WARRANTY PERIOD HAS ENDED.

16. THIS LANDSCAPE / ARCHITECTURAL SITE PLAN HAS BEEN REVIEWED AND APPROVED BY THE OWNER / RESPONSIBLE AGENT WHO UNDERSTANDS THAT ANY CHANGES, SUBSTITUTIONS, OR DELETIONS MAY REQUIRE REVIEW AND APPROVAL BY THE RESPONSIBLE

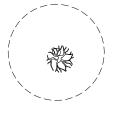
17. REFER TO PLANTING DETAILS SHEET OR LANDSCAPE PLAN REGARDING THE INSTALLATION OF PLANT MATERIAL.

18. ALL BEDS TO LAID OUT WITH SPRAY PAINT AND SIGNED OFF BY LANDSCAPE DESIGNER BEFORE BEDS ARE CUT.

19. ALL LANDSCAPE MATERIALS (TREES, SHRUBS, GROUND COVER AND SOD) TO BE IRRIGATED

	PLANT LIST						
TREES / PALMS	ABR.	SCIENTIFIC NAME	COMMON NAME	QUANTITY	GAL.	CAL.	HT @ INSTALL
	CC	CERCIS CANADENSIS 'RISING SUN'	RISING SUN EASTERN RED BUD	2		2" CAL	8'-10' HT
	SR	SERENOA REPENS 'SILVER'	SILVER SAW PALMETTO	45			3' HT
'							
	DR	ROSA 'DRIFT'	DRIFT ROSE	38	7 GAL.		
SHRUBS	DS	DISTYLIUM 'BLUE CASCADE'	BLUE CASCADE DISTYLIUM	28	7 GAL.		
	GJ	GARDENIA JASMOIDES 'RADICANS'	RADICANS GARDENIA	55	7 GAL.		
	LJF	LIGUSTRUM 'JACK FROST'	JACK FROST LIGUSTRUM	67	3 GAL.		
一	TJ	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	17	3 GAL.		
S							
		SOD	(BÉRMUDA 419 )	1,500 SF			
		DOUBLE HAMMERED HARDWOOD MULCH	BROWN	60 YDS			
		AMENDED SOIL FOR LANDSCAPE BEDS		20 YDS			

#### LANDSCAPE LEGEND:



EXISTING TREE

SOD

PROPOSED UNDER STORY TREE



PROPOSED PALM SHRUBS

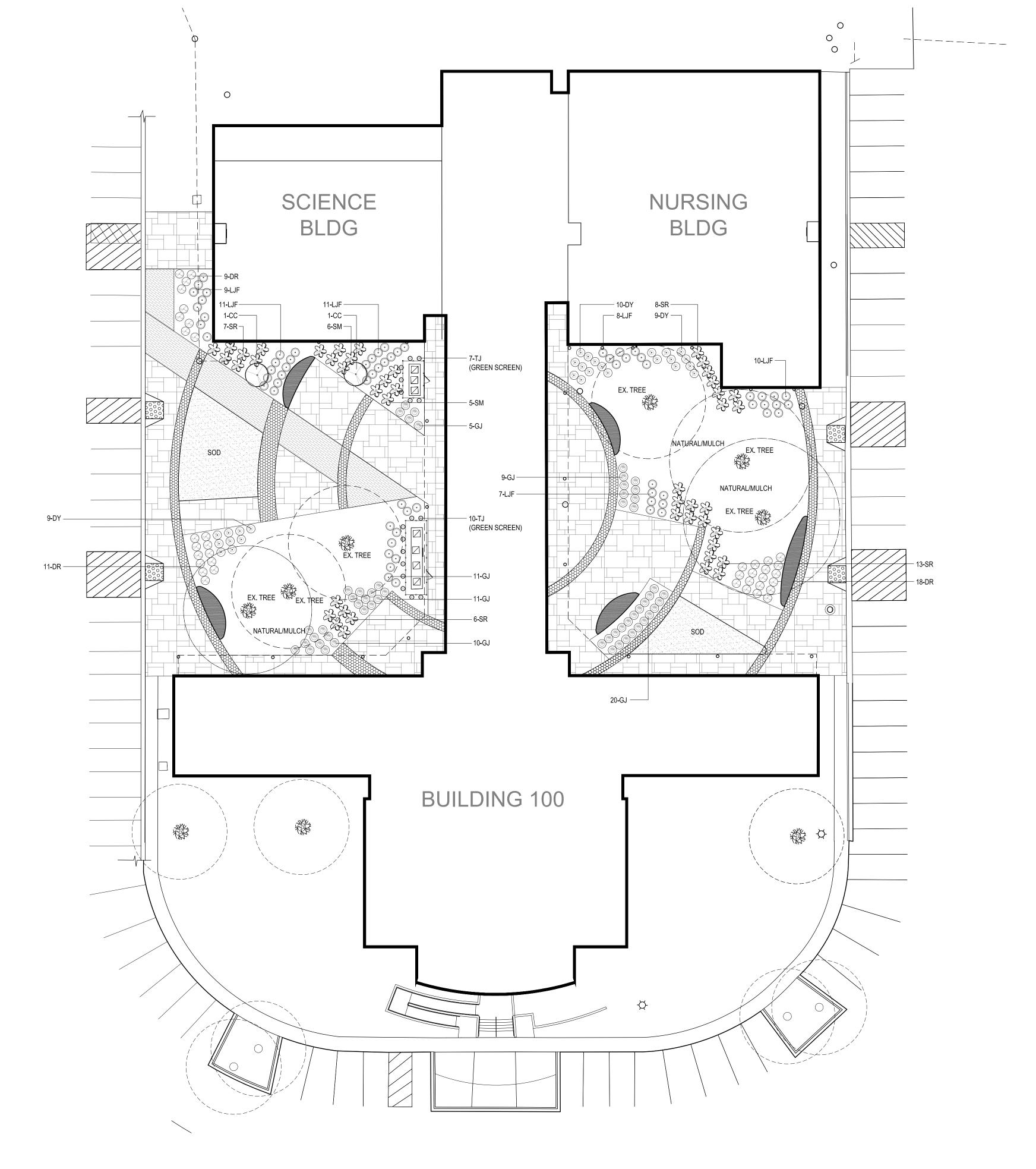


PROPOSED DECIDUOUS SHRUBS



PROPOSED EVERGREEN SHRUBS





## 01 LANDSCAPE PLAN L101 SCALE = 1" = 20'-0"





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MYRTLE BEACH SC

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COURTYARD RENOVATION
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Georgetown, SC 29440

HGTC GEORGETOWN

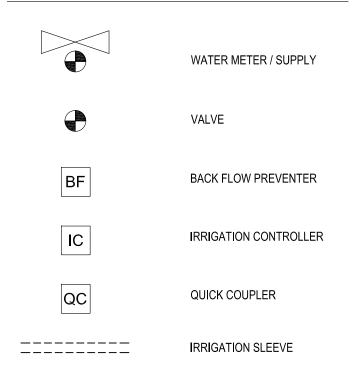
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L101 LANDSCAPE PLAN

#### IRRIGATION NOTES:

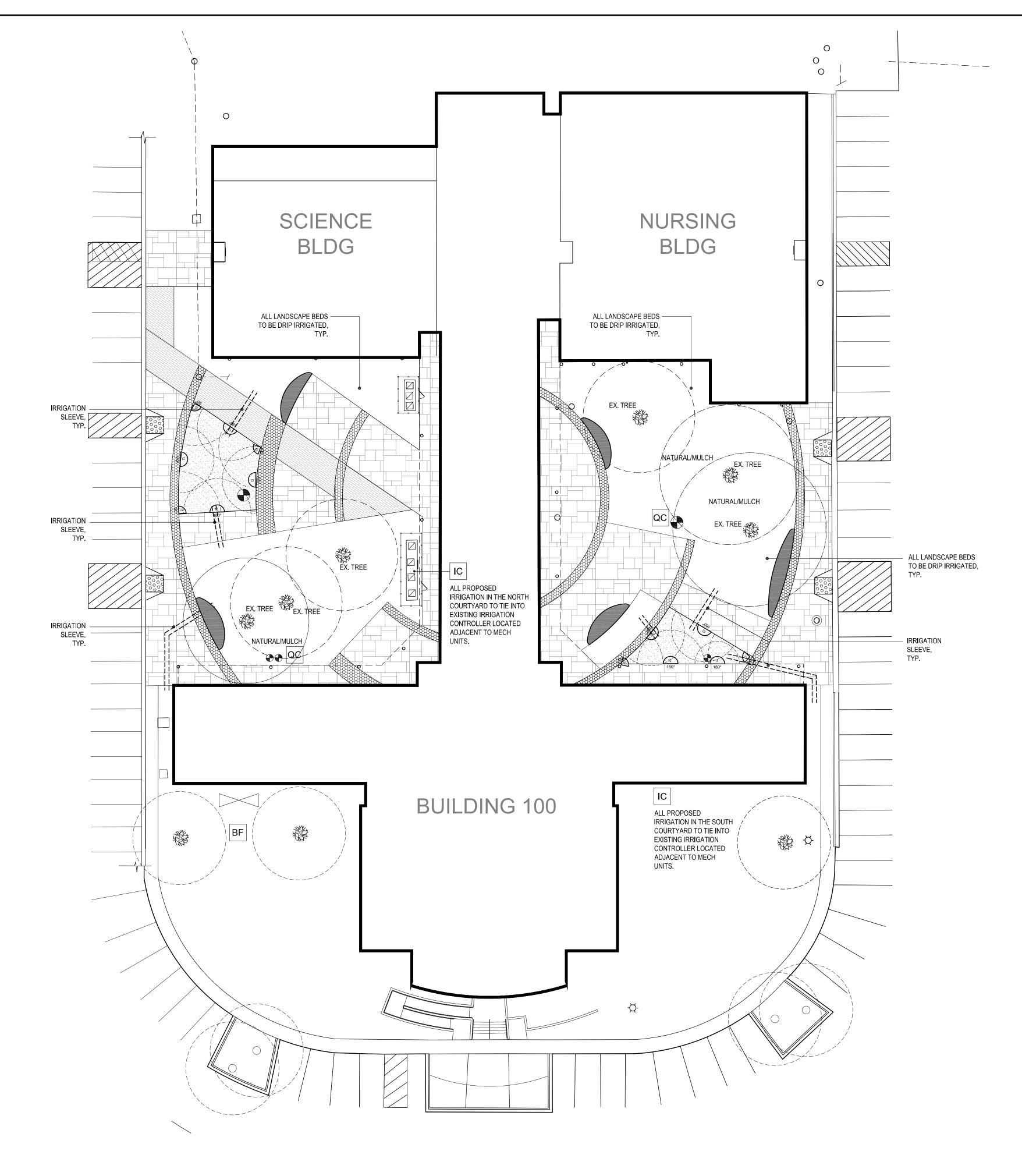
- 1. IRRIGATION DESIGN IS SCHEMATIC AND ALL LOCATIONS OF PIPE, HEADS, DRIP LINES, SLEEVE LOCATIONS, AND VALVES MAY BE RELOCATED DUE TO EXISTING SITE CONDITIONS AND/OR INSTALLATION CONTRACTOR REQUIREMENTS.
- 2. PROPOSED IRRIGATION ZONING IS SHOWN AS A GUIDE, ACTUAL ZONES MAY CHANGE DUE TO EXISTING SITE CONDITIONS OR AVAILABLE WATER PRESSURE.
- 3. ALL VALVE BOXES SHALL SHOULD BE LOCATED AND INSTALLED IN PROPOSED LANDSCAPE PLANTING BEDS. NO VALVE BOXES SHOULD BE INSTALLED IN PROPOSED AREAS DERTERMINED TO BE SOD/TURF AREAS.
- 4. ALL VALVES TO BE INSTALLED IN VALVE BOXES AND MARKED IRRIGATION.
- 5. ALL NOZZELS SELECTED AS SPRAY HEADS MAY BE ALTERED BY INSTALLATION CONTRACTOR TO PROVIDE THE MAXIMUM COVERAGE, WITHOUT SPRAYING ON WALKS, BUILDINGS, CARS, DRIVES, OR ANY OTHER SITE ELEMENTS NOT INTENDED TO BE IRRIGATED
- 6. ALL SLEEVES INSTALLED UNDER PAVED AREAS TO BE AT LEAST TWO PIPES SIZES LARGER THAN PRESSURED PIPE. EXTEND SLEEVES 12" INSIDE CURBS/PAVED AREAS/WALKS.
- 7. PROVIDE (1) 4" SDR PVC SLEEVE FOR IRRIGATION IN ALL REQUIRED LOCATIONS, TAPE ENDS.
- 8. PVC PIPE TO BE SDR-21, MAIN LINE AND EXTEND TO EACH VALVE.
- 9. LATERAL LINES TO BE SDR-26 AND EXTEND FROM EACH VALVE TO END OF EACH ZONE.
- 10. ALL WIRE USED FOR IRRIGATION CONTROL VALVES TO BE 14 GAUGE UF UL AND RATED FOR 600 VOLTS AND SPLICED WITH 3M DBY SPLICERS.
- 11. ALL SLEEVES SHOULD HAVE A 12" MINIMUM AND 18" MAX GROUND COVERAGE FOR ALL SLEEVES, TYPICAL IN ALL SLEEVE LOCATION
- 12. LATERAL LINES AS NEEDED TO KEEP VELOCITY BELOW THE REQUIRED 5'-"0 PER SECOND.
- 13. ALL PIPE USED AND WIRED SHALL NOT BE PLACED UNDER PAVED AREAS UNLESS NECESSARY.
- 14. FINAL LOCATIONS OF CITY MAINTAINED WATER METRS AND CONTROLLERS TO BE FIELD VERIFIED BY LANDSCAPE CONTRACTOR AND CITY OF MYRTLE BEACH.
- 15. ALL LANDSCAPE, BEDS AND TURF, TO BE COVERED 100% BY IRRIGATION AND NO IRRIGATION WATER TO COME IN CONTACT WITH BUILDINGS, SIGNS, STRUCTURES OR PAVEMENT.
- 16. A ONE YEAR WARRANTY ON ALL PLANT MATERIAL. TRUDESIGN STUDIO HAS THE FINAL DECISION ON WHAT PLANTS ARE TO BE REPLACED IF THEY ARE WITHIN THE ONE YEAR WARRANTY.
- 17. GENERAL CONTRACTOR TO COORDINATE POWER REQUIRMENTS FOR IRRIGATION CONTROLLER
- 18. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL FOR DESIGN TEAM AND OWNER TO REVIEW.

#### IRRIGATION LEGEND



#### IRRIGATION NOTES:

SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR VIGOR	IRRIGATION SCHEDULE FOR SURVIVAL
<2" CALIPER	DAILY FOR 2 WEEKS; EVERY OTHER DAY FOR 3 MONTHS; WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4" CALIPER	DAILY FOR 1 MONTH; EVERY OTHER DAY FOR 3 MONTHS; WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
>4" CALIPER	DAILY FOR 6 WEEKS; EVERY OTHER DAY FOR 3 MONTHS; WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS





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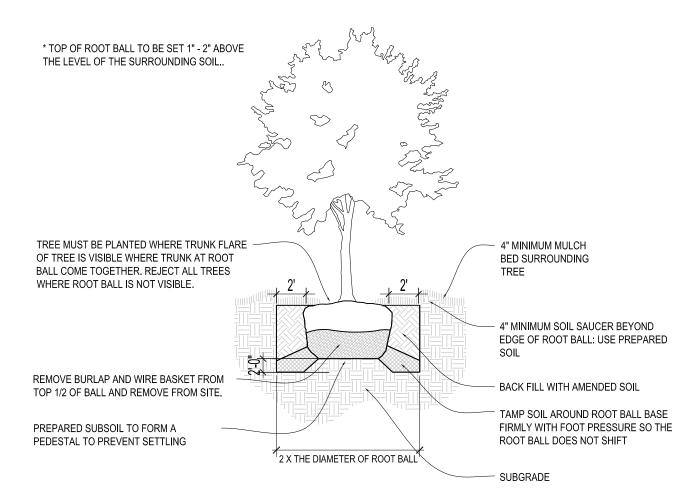
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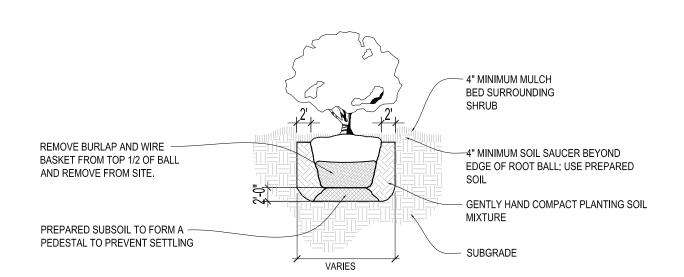
L102 IRRIGATION PLAN

SCALE: As indicated

01 IRRIGATION PLAN
L102 SCALE = 1" = 20'-0"
North

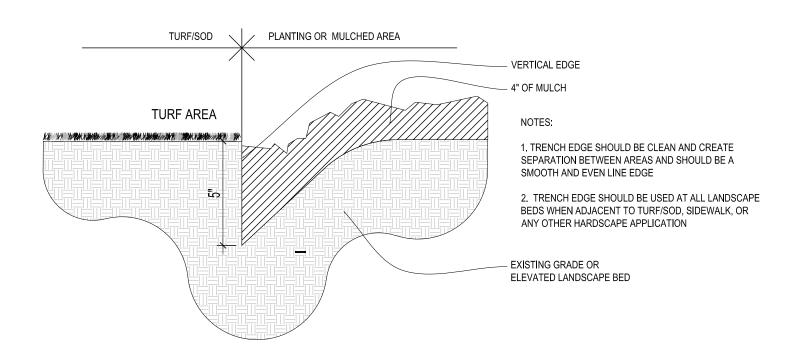


TREE PLANTING DETAIL L103 SCALE = N.T.S.



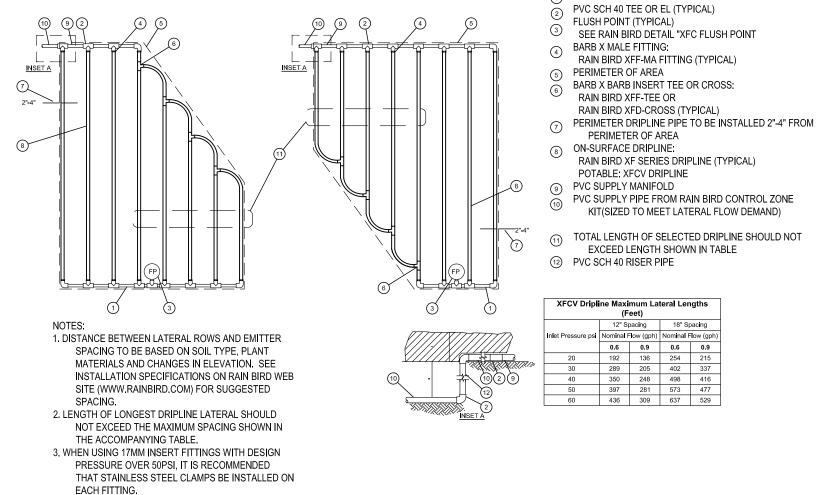
02 SHRUB PLANTING DETAIL

L103 SCALE = N.T.S.

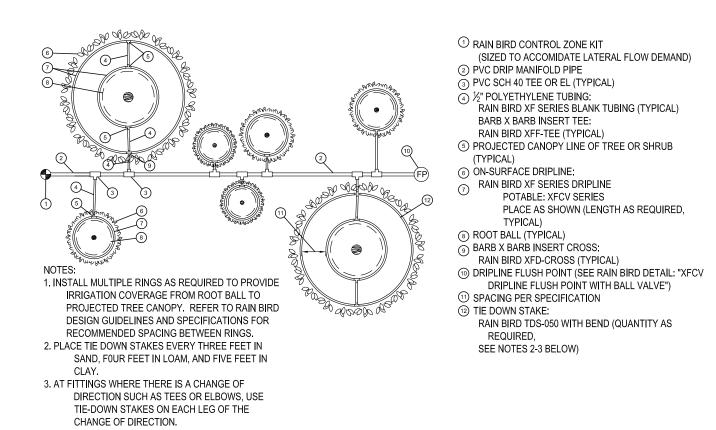


O3 SHRUB BED AT SOD - MULCH TRENCH DETAIL

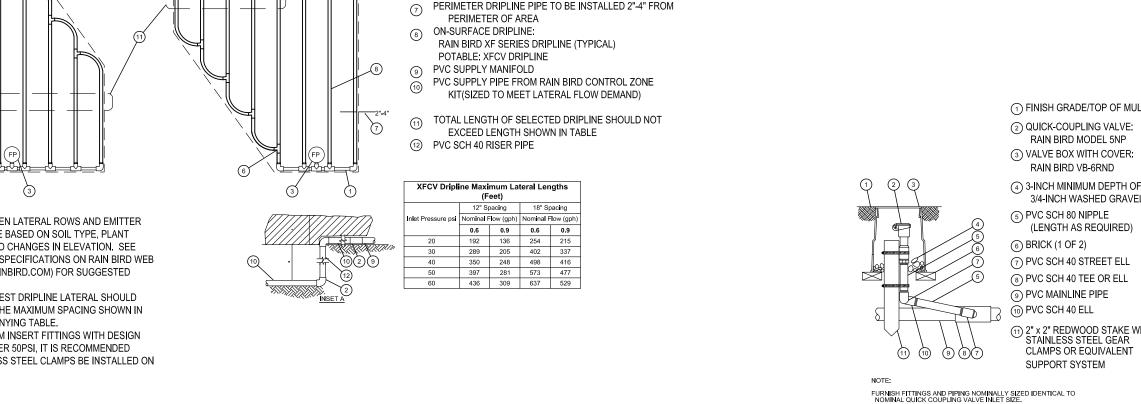
L103 SCALE = N.T.S.



O4 XFCV ON-SURFACE DRIPLINE - IRREGULAR BED SHAPE LAYOUT L103 SCALE = N.T.S.



O5 XFCV ON-SURFACE DRIPLINE - MULTIPLE SHRUB TREE DETAIL L<sub>103</sub> SCALE = N.T.S.



PVC EXHAUST HEADER



QUICK COUPLER VALVE

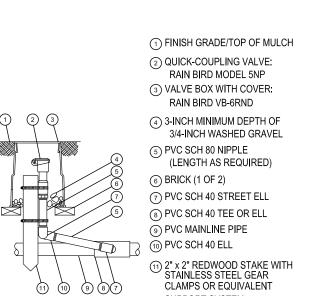
 $\lfloor L^{103} \rfloor$  SCALE = N.T.S.

COMPACTED SUBGRADE—

SET 18" BELOW GRADE OF PROPOSED DRIVE/ROAD

SCHEDULE 40 IRRIGATION SLEEVE-

8 IRRIGATION SLEEVE SECTION DETAIL L103 | SCALE = N.T.S.



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L103 LANDSCAPE / **IRRIGATION DETAILS**